

CITY OF AUSTIN

ROW # 10962591

CASE # 2013-060938 RA

TCAD # 0116000519

APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1410 Gaston Ave

LEGAL DESCRIPTION: Subdivision - Pemberton Heights  
19 and

Lot(s) E30 of 20 Block 27 Outlot \_\_\_\_\_ Division PEMBERTON HEIGHTS SEC 8

LAND STATUS DETERMINATION CASE NUMBER (if applicable) \_\_\_\_\_

I/We Lindsay Hunter on behalf of myself/ourselves as authorized agent for

Heather and John Nelson affirm that on June 5, 2013,

hereby apply for a hearing before the Residential Design and Compatibility Commission  
for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.  
Maximum Linear feet of Gables protruding from setback plane  
Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

Side Wall Length Articulation  
(Please describe request. Please be brief but thorough).

We are requesting an increase of 317.5 sq ft (or 2.3%) to the F.A.R. This is almost  
entirely comprised of hallway and stairwells needed to keep the integrity of the  
original structure and tie in the addition while abiding by city setback and tent  
guidelines. In addition, we are working around all existing trees.

in a SF3-NP zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) -  
case goes to RDCC first. National Register Historical District (NRHD) Overlay:  
without H or HD - case goes to Historic Landmark Commission first.

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**CITY OF AUSTIN  
APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION  
GENERAL MODIFICATION WAIVER**

**REASONABLE USE:**

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

See Attached.

**REQUEST:**

2. The request for the modification is unique to the property in that:

See Attached.

**AREA CHARACTER:**

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

See Attached.

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1410 GASTON AVENUE

APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION

**REASONABLE USE:**

- 1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:**

We are requesting a 2.3% increase in the F.A.R in order to remodel the current structure rather than demolish and rebuild. In order to keep many original features of the house unchanged and structurally sound, the floorplan of the original structure must remain very similar, allowing for a formal living room and dining room and a narrow central curved staircase. However, to update the house to accommodate a more modern lifestyle, a larger back staircase, family room and kids play area is being built. These areas, along with a garage and guest rooms for out of town family comprise the majority of the addition. Our remodel proposes to keep many characteristics of the original home but blend in modern convenience, all while abiding by city setback and tent restrictions and remaining true to the neighborhood character. The compromise of these goals requires almost 250 square feet of hallway and staircase alone which is the majority of the F.A.R. variance we are requesting.

**REQUEST:**

- 2. The request for the modification is unique to the property in that:**

Rather than demolish an older home, we are trying to preserve a significant portion of the house and work with the existing footprint. In order to do this, we must build most of the addition to the rear of the house. The existing central curved staircase is a key element to the traditional floorplan and we would like to preserve it. However the narrow curved steps are steep and we feel it is much safer to have a second staircase for daily use. The combination of the addition to the rear of the house and the need for another back staircase results in multiple hallways connecting the original and new upstairs portions of the house. These hallways and staircases require about 250 square feet of space alone. If we tear down the house and start new, we would be able to better utilize the space and achieve the same living area without going over the FAR (and the budget would be comparable). However, we are trying to keep the character and history of the area by remodeling the existing structure. This means balancing the existing placement and internal structure of the home while adding modern conveniences without compromising the area character. All of these issues are driving the design and layout of the home and necessitating the additional FAR.

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**AREA CHARACTER:**

- 3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:**

As proposed, this remodel and addition is in keeping with the traditional character of the Pemberton Heights neighborhood. Moreover, this proposed project conforms with the character and style of many homes on the street and with several adjacent structures. The majority of the addition will not be visible from the street and the façade of the house will remain narrower and setback further than many other homes in the area. The front footprint will remain the same (with the exception of a 2ft wide addition to the first story on the west side of the house) and the only other part of the addition visible from the street will be the two story garage which is 60 feet from the street and recessed 20 feet behind the property line. More than half the houses on this block have a garage or carport adjacent to the house, and there are over 20 houses in the immediate neighborhood that have similarly adjacent garages—many of which are closer to the street and façade than our proposal.

The south and east side massing will remain largely unchanged as the house will remain setback 29ft from the east property line, and the south side will continue to have about 24ft of one story building 10 feet from property line. On the west side, the addition shifts from two story to one story as it approaches the rear of the lot in order to protect the privacy and backyards of the surrounding neighbors. We are also working to preserve all five trees that are on the property. Removal of some of the trees would allow for a more efficient floorplan, however we are trying to preserve all the trees that are currently on the property.

The materials used, including brick and stone, will be similar to other traditional homes in the area. The proposed addition is within the city's front, rear and side setback lines and within the city's tent guidelines. The current house has not been updated in over 40 years and is in need of significant repair. This remodel attempts to keep the traditional character of the house intact with a symmetrical façade and entry that opens to a center staircase with formal rooms on each side. The existing original home is two stories, and the proposed addition corrects several design and structural flaws of prior additions. After the remodel, the traditional, symmetrical brick façade of the home will be similar to many historical homes in the neighborhood.

As proposed, the remodel and addition will satisfy the purpose and intent of the existing Residential Design and Compatibility Commission ordinances, regulations, and guidelines. It will be enhancing the home, keeping many features in tact, and be conforming to the character and style of the surrounding neighborhood.



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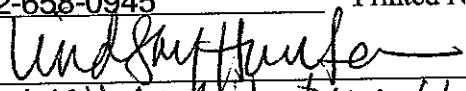
**CITY OF AUSTIN**  
**APPLICATION TO THE RESIDENTIAL DESIGN**  
**AND COMPATIBILITY COMMISSION**  
**GENERAL MODIFICATION WAIVER**

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 1408 Ethridge Ave

City, State Austin, Tx Zip 78703

Phone 512-658-0945 Printed Name Lindsay Hunter

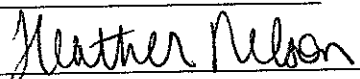
Signature  Date 6/5/2013  
LKH Architecture, LLC

**OWNER'S CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 2410 Jarratt Ave

City, State Austin, Tx Zip 78703

Phone 512-944-4778 Printed Name Heather Nelson

Signature  Date 6/5/2013

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## **GENERAL INFORMATION FOR SUBMITTAL OF A MODIFICATION REQUEST TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION**

(The following is intended to provide assistance in explaining the modification process. These suggestions are not intended to be a complete or exhaustive guide in assisting you through this process).

**SUBMITTAL DEADLINE IS THE 2<sup>ND</sup> TUESDAY OF EACH MONTH FOR A COMPLETENESS CHECK**

**Must be submitted in person**

**An approved submittal will be scheduled for the next available RDCC hearing date**

**Confirm with City Staff [sylvia.benavidez@ci.austin.tx.us](mailto:sylvia.benavidez@ci.austin.tx.us) for any scheduled changes**

**SUBMITTAL REQUIREMENTS:** (Failure to complete the application or to submit all the required materials will result in non-acceptance of the application).

1. A completed waiver application indicating all modifications being requested and a completed and reviewed residential application (See Current Fee Schedule for Applicable Fees). An application must include all relevant information.
2. A tax plat map with subject property clearly marked indicating property within a 300-foot radius. This is available from the Travis Central Appraisal District at 8314 Cross Park Drive (834-9138).
3. Check made payable to the City of Austin for the Residential Design and Compatibility Commission notification/sign fee - See Current Fee Schedule for Applicable Fees.
4. Other Information - Although the following is not a requirement of submittal you may wish to include additional information that may assist the Commission in making an informed decision regarding your request, such as: visual aids to support the request, letters from the neighborhood association(s), etc. Any additional information you wish to submit must be in our office one week prior to the meeting. The Commission will receive a packet with all information that has been submitted on the Monday prior to the meeting.

**Modifications approved by the Commission are limited to and conditioned upon the plans and specifications presented by the applicants, except as modified by the Commission.**

### **Reasonable Use:**

Application must demonstrate to the Commission how the Residential Design and Compatibility Standards regulations applicable to the property do not allow for a reasonable use of the property. [Note: The Commission cannot approve modifications that are not stated in the Residential Design and Compatibility Standards Ordinance, Subchapter F - 2.8.1].

- a. Application must demonstrate to the Commission how the alteration for which the modification is requested is unique to the property.

### **Area Character:**

Application must demonstrate to the Commission how the modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the zoning regulations of the zoning district in which the property is located.

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**Residential Design and Compatibility Commission Staff:**

**Sylvia Benavidez**  
**[sylvia.benavidez@ci.austin.tx.us](mailto:sylvia.benavidez@ci.austin.tx.us)**

**974-2522 office 974-6536 fax**

**Planning and Development Review Department**  
**One Texas Center**  
**505 Barton Springs Road, 2<sup>nd</sup> Floor**

**Mailing Address:**  
**P. O. Box 1088**  
**Austin, TX 78767-1088**

# City of Austin Residential Permit Application

Residential Review, 2<sup>nd</sup> floor, One Texas Center  
505 Barton Springs, Austin, TX 78704  
(512) 974-2747

For Departmental Use Only	2013-060938 PA	Doc ID#
	Traylor-Hobson	App Date
	Rev Date	Ins Date
	Reviewed/Approved	Insured

## Project Information

Project Address: 1410 Gaston Ave	Tax Parcel ID: 115727
Legal Description: Lot 19 and E 30' of Lot 20, Block 27, Pemberton Heights, Section 8	Lot Size (square feet): 13982.19 SF
Zoning District or PUD: SF3NP	Historic District (if applicable): OWANA
Neighborhood Plan Area (if applicable): Central West Austin NP	Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>
Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	wastewater availability? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>
If no, contact Austin Water Utility to apply for water/wastewater taps or sewer extension request.	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> If yes, submit approved auxiliary and potable plumbing plans.	
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site have a septic system? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	If yes, submit a copy of approved septic permit to construct.
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	
If yes, contact the Development Assistance Center for a Site Plan Exemption.	
Does this site front a paved street? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> Case # 2213 00005845 VA (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This includes canopy and/or critical root zone impacts to nearby trees. Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred fifty (150) feet of the one hundred (100) year floodplain? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	
Note: Proximity to a floodplain may require additional review time.	

## Description of Work

Existing Use: vacant <input type="checkbox"/> single-family residential <input checked="" type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other <input type="checkbox"/>	
Proposed Use: vacant <input type="checkbox"/> single-family residential <input checked="" type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other <input type="checkbox"/>	
Project Type: new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input checked="" type="checkbox"/> remodel/repair <input type="checkbox"/> other <input type="checkbox"/>	
# of bedrooms existing: 4 # of bedrooms proposed: 5 # of baths existing: 2.5 # of baths proposed: 5 full 2 half	
Will all or part of an existing exterior wall be removed as part of the project? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Note: Removal of all or part of a structure requires a demolition permit.	
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Demolition of rear backhouse including concrete shelter, carport, breezeway connection to back house and tile patio. Remodel of existing house. Removal of exterior stone and windows. Replace with painted brick and new windows. Removal of front porch - porch slab to remain. Attached carport and house addition. New pool and hot tub. New driveway. sidewalk, back patio, outdoor shower. Expansion of existing roof and adding dormers. Associated mechanical, electrical, plumbing, IT/AV, concrete work.	
Permit 1 = PERMIT 2 = POOL & HOT TUB.	
Trades Permits Required: electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input checked="" type="checkbox"/> concrete (right-of-way) <input checked="" type="checkbox"/>	

## Job Valuation

Total Job Valuation: \$90,000	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$50,000 Bldg: \$38,500 Elec: \$4500 Plmbg: \$4000 Mech: \$3000 Primary Structure: \$50,000 Accessory Structure: \$	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$40,000 Bldg: \$28,500 Elec: \$4500 Plmbg: \$4000 Mech: \$3000
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.		

TREE PERMIT.

WHAT IS THE POOL IN BACK OF ADDITION.

UPDATE TREE PERMIT TO INCLUDE SCOPE OF WORK SHOWN IN THIS POOL

**CV**

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 <sup>st</sup> floor conditioned area	1724.36	1203.5	2927.86
b) 2 <sup>nd</sup> floor conditioned area	1335.65	1269.53	2605.18
c) 3 <sup>rd</sup> floor conditioned area	-	-	-
d) Basement	-	-	-
e) Covered Parking (garage or carport)	722.16 - 144.06 = 578.10	578.10	578.10
f) Covered Patio, Deck or Porch	304.12	223.15	527.27
g) Balcony	-	-	-
h) Other	-	-	-
Total Building Coverage (exclude b, c & d from total)	2606.58	1086.29	4033.2
i) Driveway	2072.81 - 582.04 = 1490.77	1490.77	1490.77
j) Sidewalks	128.52	0	128.52
k) Uncovered Patio	701.25 - 223.24 = 478.01	478.01	478.01
l) Uncovered Wood Deck (counts at 50%)	27	0	27
m) AC pads	-	24	24
n) Other (Pool Coping, Retaining Walls)	4730.89	1450.68	6181.53
Total Site Coverage	0	450	450
o) Pool	-	64	64
p) Spa	-	-	-

Site Development Information	
<b>Building Coverage Information</b> Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Existing Building Coverage (sq ft):	2606.58
% of lot size:	19.87
Proposed Building Coverage (sq ft):	4033.23
% of lot size:	28.85
<b>Impervious Cover Information</b> Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)	
Existing Impervious Cover (sq ft):	4730.88
% of lot size:	40.62
Proposed Impervious Cover (sq ft):	6181.53
% of lot size:	44.21
<b>Setbacks</b> Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) Y <input checked="" type="checkbox"/> N <input checked="" type="checkbox"/> DEMO	
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	
Building Height: 31.5 ft	Number of Floors: 2
<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)	
# of spaces required: 2	# of spaces provided: 2
<b>Right-of-Way Information</b>	
Is a sidewalk required for the proposed construction? (LDC 6-353) Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Width of approach (measured at property line): 20' ft Distance from intersection (for corner lots only): _____ ft	
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	

# Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing	New	Exemption	Total
1 <sup>st</sup> Floor	1724.36	1203.5		2927.86
2 <sup>nd</sup> Floor	1335.65	1269.53		2605.18
3 <sup>rd</sup> Floor	-	-	-	-
Basement	-	-	-	-
Attic	-	-	-	-
Garage (attached)	0	578.10	200	378.10
(detached)	-	-	-	-
Carport (attached)	-	-	-	0
Demo (detached)	-	-	-	0
722.16				
Accessory building(s)	-	-	-	-
(detached)	-	-	-	-
Demo	-	-	-	-
613.46				
TOTAL GROSS FLOOR AREA				5911.14

(Total Gross Floor Area / lot size) x 100 = 42.28 Floor-To-Area Ratio (FAR)

- Is this project claiming a "parking area" exemption as described under Article 3? ☒ Y ☐ N
- Is this project claiming a "ground floor porch" exemption as described under Article 3? ☒ Y ☐ N
- Is this project claiming a "basement" exemption as described under Article 3? ☐ Y ☒ N
- Is this project claiming a "habitable attic" exemption as described under Article 3? ☐ Y ☒ N
- Is a sidewall articulation required for this project? ☐ Y ☒ N
- Does any portion of the structure extend beyond a setback plane? ☐ Y ☒ N

**Parking Area exemption:** Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

**Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

C2/11

**Contact Information**

Owner	Heather and Jack Nelson	Applicant or Agent	Lindsay Hunter, LRH Architecture, LLC
Mailing Address	1410 Gaston Ave	Mailing Address	1408 Ethridge Ave 78703
Phone	512.944.4778	Phone	512.658.0945
Email	heathernelson5@gmail.com	Email	alindsayrose@yahoo.com
Fax		Fax	
General Contractor	Bill Stone	Design Professional	Lindsay Hunter, LRH Architecture, LLC
Mailing Address	4866 Travis Oaks Dr	Mailing Address	1408 Ethridge Ave 78703
Phone	512.784.6375	Phone	512.658.0945
Email		Email	alindsayrose@yahoo.com
Fax		Fax	

**Acknowledgments**

Is this site registered as the owner's homestead for the current tax year with the appraisal district? Y ☒ N ☐

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

I understand that I am responsible for complying with any subdivision notes, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.

If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.

I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.

I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.

Erosion and Sedimentation Controls are required per Section 25-8-181.

I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

Applicant's signature:

*Lindsay Hunter*  
President LRH Architecture

Date:

6/11/13

C2/12

**Contact Information**

Owner		Applicant or Agent	
Mailing Address		Mailing Address	
Phone		Phone	
Email		Email	
Fax		Fax	
General Contractor		Design Professional	
Mailing Address		Mailing Address	
Phone		Phone	
Email		Email	
Fax		Fax	

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I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or [cityarborist@austintexas.gov](mailto:cityarborist@austintexas.gov). This initiates the tree permitting requirement needed to proceed with the development review process.

Erosion and Sedimentation Controls are required per Section 25-8-181.

I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

Applicant's signature: Heather Nelson Date: 06/11/13  
owner



C2  
13

June 9, 2013

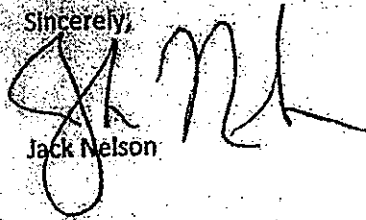
Lindsay Hunter  
1408 Ethridge  
Austin, TX 78703

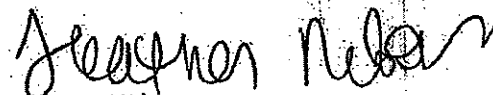
Re: 1410 Gaston

Dear Lindsay,

This letter acknowledges that we have authorized you and/or LRH Architecture, LLC to pull and file all required permits on our behalf for our property at 1410 Gaston. Feel free to provide this letter to others and pass along our contact information.

Sincerely,

  
Jack Nelson

  
Heather Nelson

1<sup>st</sup> Floor Development  
Assistant Center, 505  
Barton Springs Road



Kramer Service Center  
2412 Kramer Lane, Bldg. "C"  
Austin, Texas 78758  
(512) 505-7206

**Austin Energy**  
**Electric Service Planning Application (ESPA)**  
(Please Print or Type)

St. Elmo Service Center  
4411-B Meinardus Drive  
Austin, Texas 78744  
(512) 505-7500

C2  
14

***For Residential or Small Commercial "SERVICE ONLY" under 350 amps 1Ø or 225 amps 3Ø***

Customer Name Heather & Jack Nelson Phone 210.601.2343  
Address 1410 Gaston Ave.  
Legal Description Lot 19 and East 30' of Lot 20, Block 27, Pemberton Heights section 8  
Lot 19 & Partial 20 Block 20 Commercial/Residential? Residential

Service Main Size \_\_\_\_\_ (amps) Service Conductor \_\_\_\_\_ (type & size)  
Service Length \_\_\_\_\_ (ft.) Number of Meters? \_\_\_\_\_ Multi-Fuel Y N  
Overhead/Underground? \_\_\_\_\_ Voltage \_\_\_\_\_ ☐ Single-phase (1Ø) ☐ Three-phase (3Ø)  
Total Square Footage \_\_\_\_\_ Total A/C Load \_\_\_\_\_ (# of units) \_\_\_\_\_ (Tons)  
Largest A/C unit \_\_\_\_\_ (Tons) LRA of Largest A/C Unit \_\_\_\_\_ (amps)  
Electric Heating \_\_\_\_\_ (kW) Other \_\_\_\_\_ (kW)

Comments: Guest Bedroom & Pool House

ESPA Completed by (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

AE Representative \_\_\_\_\_

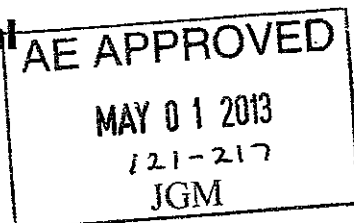
Date \_\_\_\_\_

Approved: ☐ Yes ☐ No (Remarks on back)

Phone \_\_\_\_\_

**Application expires 180 days after date of Approval**

All structures etc. must maintain 7'5"  
clearance from AE energized power  
lines. Enforced by AE & NESC codes.





C2/15

**Austin Water Utility**  
**Water & Wastewater Service Plan Verification**  
(W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

(Please Print or Type)

Customer Name: <u>Heather &amp; Jack Nelson</u>		Phone: <u>210.601.2343</u>		Alternate Phone: _____	
Service Address: <u>1410 Gaston Ave</u>					
Lot: <u>19/20</u>		Block: <u>27</u>		Subdivision/Land Status: <u>Pemberton Heights</u> Section <u>8</u>	
Tax Parcel ID No.: _____					
Existing Use: <u>vacant</u>	<u>single-family res.</u>	<u>duplex</u>	<u>garage apartment</u>	<u>other</u>	
<small>(Circle one)</small>					
Proposed Use: <u>vacant</u>	<u>single-family res.</u>	<u>duplex</u>	<u>garage apartment</u>	<u>other</u>	
<small>(Circle one)</small>					
Number of existing bathrooms: <u>4.5</u>		Number of proposed bathrooms: <u>5.5</u>			
Use of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes _____ No <input checked="" type="checkbox"/>					

City of Austin Office Use

Water Main size: <u>6"</u>	Service stub size: <u>1 1/4"</u>	Service stub upgrade required? _____	New stub size: _____
Existing Meter number: <u>2109687</u>	Existing Meter size: <u>1"</u>	Upgrade required? <u>no</u>	New size: _____
WW Service: <u>Septic System/On-Site Sewage Facility (OSSF)</u> or <u>WW Collection System</u> WW Main size: _____			

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

Approved: ☐ Yes (see attached approved documents) ☐ No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10<sup>th</sup> Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) _____	Date _____	Phone _____
OSSF (if applicable) Approved by UDS (Signature & Print name) _____	Date <u>5-1-13</u>	Phone <u>914 9722</u>
AWU Representative _____	Date _____	Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submittal

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

**RECEIVED**  
MAY 01 2013  
WATER & WASTEWATER UTILITY  
CONSUMER SERVICES DIVISION



C2  
16

City of Austin  
Planning and Development Review  
Land Status Determination  
1995 Rule Platting Exception

March 08, 2013

File Number: **C8I-2013-0074**

Address: **1410 GASTON AVE**

Tax Parcel I.D. # **115727**

Tax Map Date: **03/08/2013**

The Watershed Protections & Development Review has determined that this parcel, as described in the attached description and map, **IS EXCEPTED FROM THE REQUIREMENT TO PLAT** in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being **Lot 19 And The East 30 Feet Of Lot 20, Block 27, Pemberton Heights Section 8** in the current deed, recorded on **Feb 15, 2013**, in **Document #201300113**, Travis County Deed Records. This parcel existed in its current configuration on January 1, 1995, as evidenced by a deed recorded on **Nov 01, 1984**, in **Volume 8948**, Page **696**, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 212.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by **wastewater** service on **Jul 26, 1941**. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

Additional Notes/Conditions:

NONE

This determination of the status of the property is based on the application of Chapter 212, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code; and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other portion of the City Code or any other regulation.

By: Glenn Rhoades  
**Glenn Rhoades, Representative of the Director**  
**Planning and Development Review**

C2  
17

Francis McIntyre

1410 Gaston Ave.

159

19

27

Pemberton Heights

Frame Addn. to rear of Res. and Remodel

82425

1-8-62

5,000.00

W. T. Walker & Sons

1

MAID ROOM

Remove partition and add one to create closet.

ADDRESS: 1410 Gaston Ave

PERMIT 82425

PLAT 189

LOT:

BLOCK 27

SUB.

19

OUTLOT

Pemberton Hts

FIRE ZONE 3

USE DIST: A 1

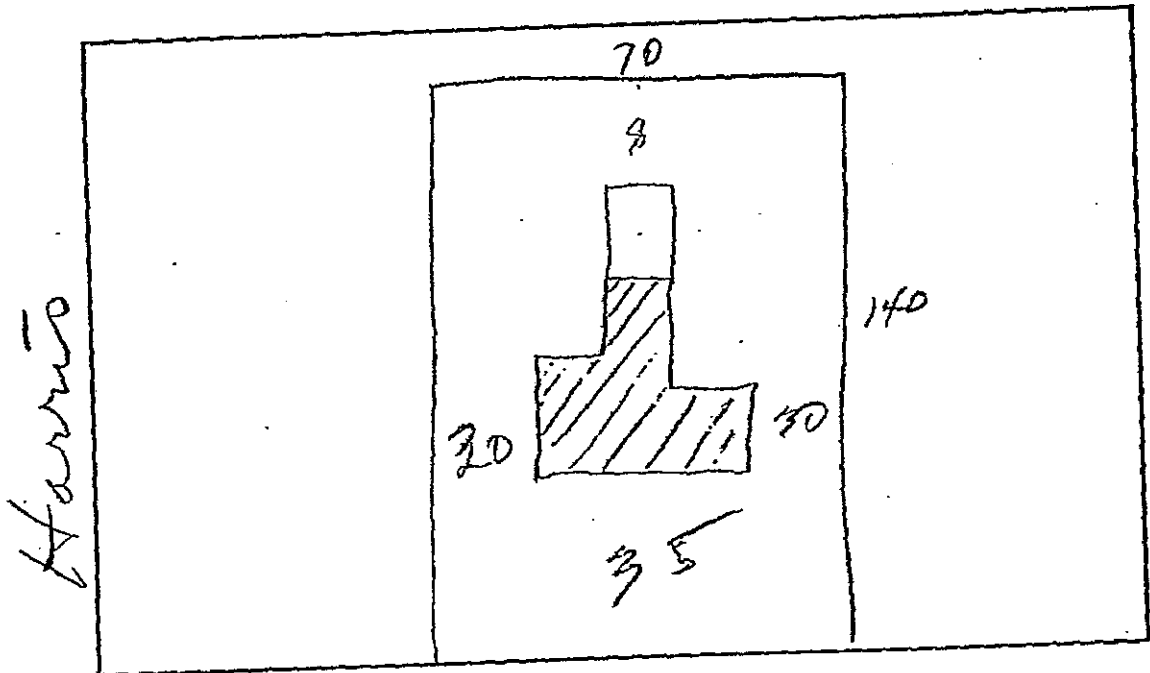
OCCUPANCY: Add to Res & Remodel

	LAYOUT			FRAMING			FINAL		ROOF OVERHANG	
	PRINC. BLDG.	ACC. BLDG.		PRINC. BLDG.	ACC. BLDG.		PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.	
1/15/62			4/4/62			5/25/62				12
FOUNDATION	P		FLOOR JOIST SIZE & O.C.			NECESSARY BLDG. CONN.			ACC. BLDG.	
FR. SETBACK	35		CEILING JOIST SIZE & O.C.	2x10		ROOM VENTILATION			PAVED PARKING	
TOTAL & MIN. SIDE YD.	60		STUD SIZE & O.C.	2x4		STAIRS REQ. & NO.				
SIDE STREET YARD	30		MASONRY WALL	16		ATTIC FIRE STOPS REQ.				

OWNER: M S Intyre

CONTRACTOR: Walker

13 x 20 = 260 - makes room - also back shelter 11 x 20



Gaston Ave

INSPECTOR

12/19

OWNER Dr. Francis E. Mc Intyre ADDRESS 1410 Gaston Ave.

PLAT 159 LOT 19 & W 30' of 20 BLK 27

SUBDIVISION Pemberton Hts. Sec 8

OCCUPANCY Enlarge bedroom and add C.P.

BLD PERMIT # 119910 DATE 1-18-70 OWNERS ESTIMATE \$8,300.00

CONTRACTOR G. A. Wallace NO. OF FIXTURES several

WATER TAP REC # Exist SEWER TAP REC # Exist

Frm addn and remodel exist residence

520 sq. ft.

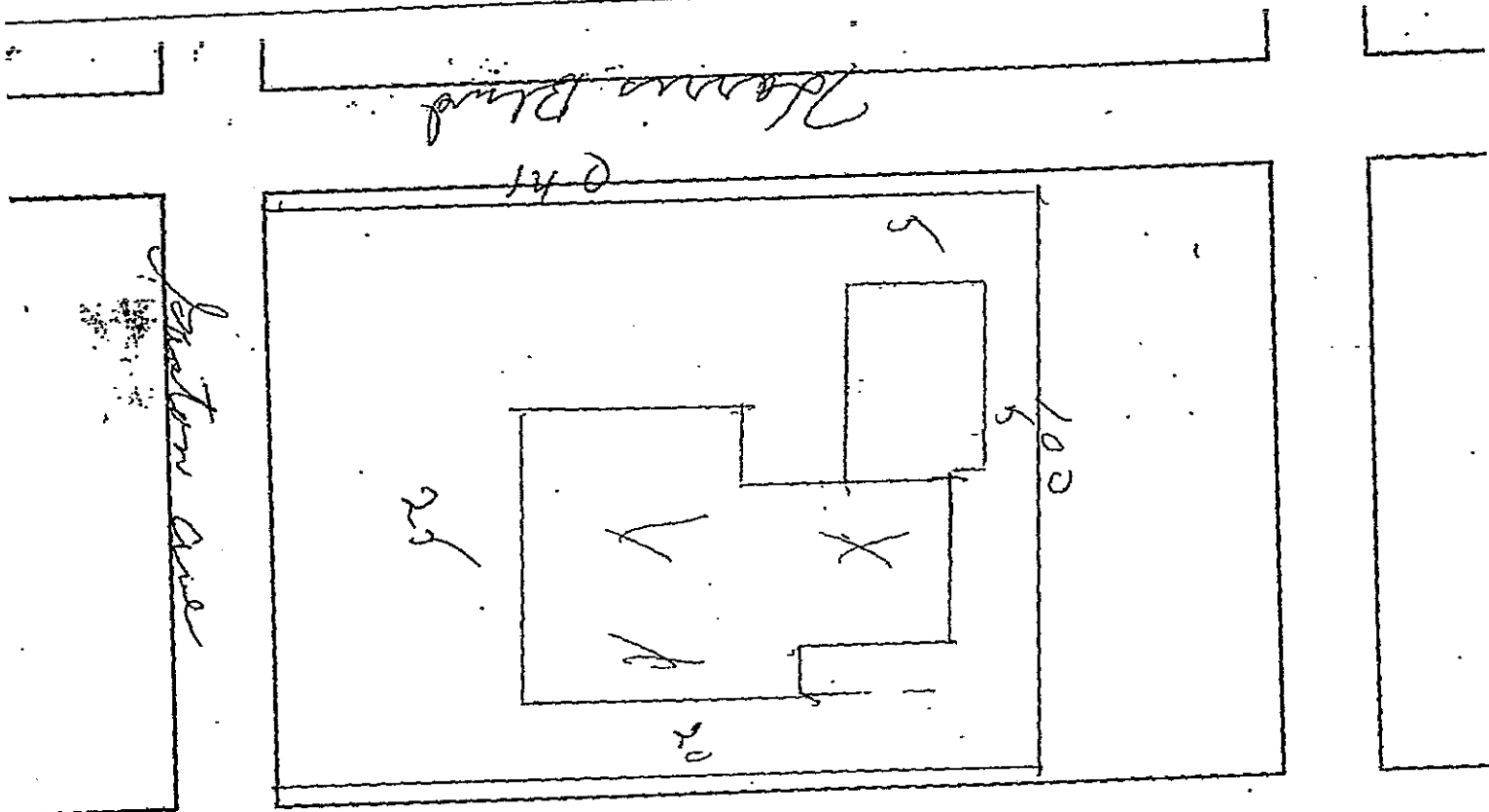
3-18-77 162989 re roofing

ADDRESS: 1410 Chaston Ave PERMIT 119910 PLAT 159  
LOT: BLOCK 27 SUB. C/20  
198 W 30 of 20 OUTLOT Pemberton Hts

FIRE ZONE 3		USE DIST: A-1		OCCUPANCY: Addn & Rehabil Res.			
11-19-70		LAYOUT		FRAMING 6-21-71		FINAL	
		PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.	ACC. BLDG.
				OK			
FOUNDATION		9		FLOOR JOIST SIZE & O.C.		NECESSARY BLDG. CONN.	
FR. SETBACK		25		CEILING JOIST SIZE & O.C.		ROOM VENTILATION	
				2x8 15		✓	
TOTAL & MIN. SIDE YD.		25		STUD SIZE & O.C.		STAIRS REQ. & NO.	
		5		2x4 11			
SIDE STREET YARD				MASONRY WALL		ATTIC FIRE STOPS REQ.	

OWNER: Dr Francis M. Intyre CONTRACTOR: H.A. Wallace

20 x 26 = 520 sq



INSPECTOR

ED



Address: 1410 Weston Ave Permit: 162989 Plat: 159  
 Lot: 19 & W30' of 20 Block 27 Subdivision: Pemberton Hts. Sec 8  
 Fire Zone: 3 Use Dist. At lot Occupancy: Residential 21

Layout		Framing		Final	Commercial
Foundation		Floor joist size & o.c.		Bldg. Conn.	Parking
Front setback		ceiling joist size & o.c.		Room Vent.	Exits
Total & Min. side yard		stud size & o.c.		Stairs	Exit lights
Side St. Yard				Rails	Fences
				Attic Vent.	Corridors
				Insulation	
Type Const.		W. Insulation		Hood Vent.	
Spec. Permit #		Sheetrock		Glass	
BOA		Commercial Sheetrock		Deadbolts	
		Occup. Sep.		Fireplaces	
		Thru out			

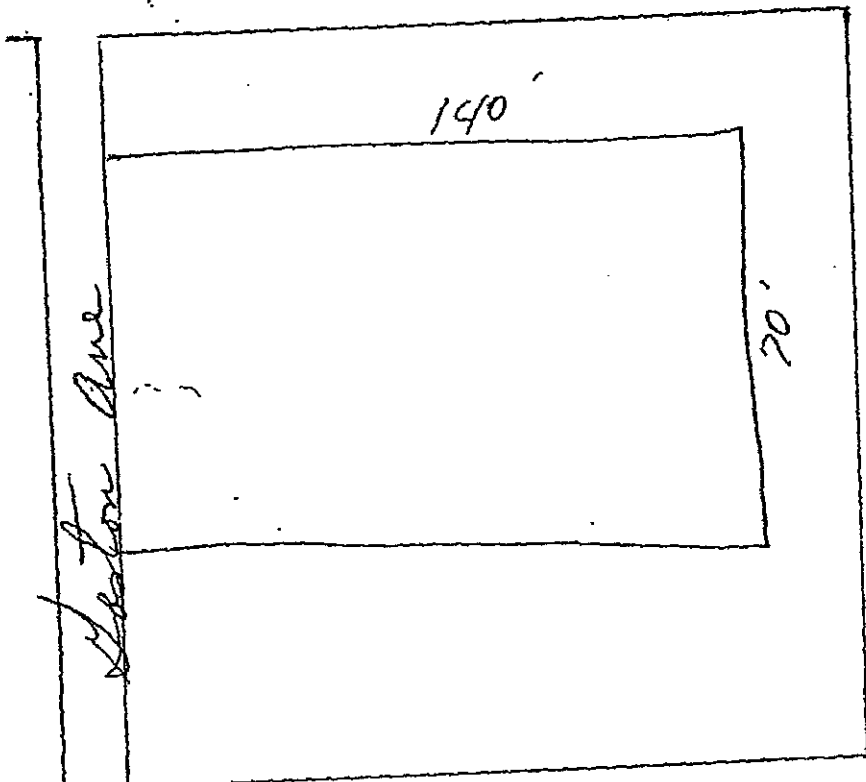
Owner: D. F. E. McIntyre

Contractor: H. M. Schumack

lic. # 0016 10-job completed  
6-10-77

Clerk R Date 3-18-77

Address:



Inspector: WR

C2  
22

McCormick  
Mr. & Mrs. Chas. T. / 1410 Gaston Ave.

159 27 19 & E. 30' of 20

Pemb. Hts. #8

2 Story Stone veneer & frame res. &  
garage attached

22308 8-8-41



# Tree Ordinance Review Application

Planning and Development Review Department  
One Texas Center, 505 Barton Springs Road, 4th floor, Austin, TX 78704  
Phone: (512) 974-1876 Fax: (512) 974-3010  
Email: cityarborist@austintexas.gov Website: [www.austintexas.gov/department/city-arborist](http://www.austintexas.gov/department/city-arborist)

ROW ID: 10792084  
Mapsc0 Pg: S85A

C2  
23

Application request\* (specify all that apply):

- ☒ Tree removal (LDC 25-8-602[3]) 6414  
☒ Critical Root Zone impacts (ECM 3.5.2 A) 6412  
☐ Live canopy impacts of more than 25% (ECM 3.5.2 B)

\* Refer to Land Development Code (LDC) 25-8 (B)(1) and Environmental Criteria Manual (ECM) (Section 3 & App. F). Applicant understands that all impacts may threaten the health of the tree and that approval of this application does not guarantee favorable tree results.

Address and zip code of property: 1410 GASTON AVENUE

Name of owner or authorized agent: CHARLTON N. LEWIS

Building permit number (if applicable): PENDING

Telephone #: 512.695.2223 Fax #: 512.852.4572

E-mail:

Tree Species: pecan #6413 Tree location on lot: rear-northeast

Trunk size (in inches) at 4 1/2 feet above ground: circumference (around) or diameter (across) 21"

General tree condition: ☐ Good / ☒ Fair / ☐ Poor / ☐ Dead

Reason for request: ☒ Development ☒ Tree condition ☒ Other

Plans include removing existing impervious cover at CRZ and an addition of a pool is desired in similar footprint; excavation equipment access to be limited, as per COA direction. FIELD REVIEWED BY JAMES GOEBEL; See attached Tree Risk Evaluation

Owner/ Authorized Agent Signature

08/13/12

Date

- Proposed development projects are to include a plan view drawing that depicts the location of the tree and the planned improvements (e.g. structure, driveway, utility and irrigation lines).
- This permit application only reviews for compliance with tree regulations.
- An application fee of \$25 must be paid prior to permit issuance. No fee is required for dead or diseased trees.

## Application Determination - To be completed by City Arborist Program Personnel

- ☐ Approved ☒ \*Approved With Conditions ☐ Statutory Denial (more information required) ☐ Denied

Comments: NEW POOL CONSTRUCTION INCLUDES NOT IMPACTING TREE ROOT ZONE; DEMOLITION & CONSTRUCTION NOT TO COMPACT CUR, OR FILL ATOP SUBGRADE.

☐ Heritage Tree(s) ☐ A heritage tree variance is required: ☐ Administrative / ☐ Land Use Commission

Conditions of Approval: ☐ None or ☒ As described within Arborist Comments (see above); and

☒ Applicant agrees to plant 20 caliper inches of central Texas native trees (see ECM Appendix F) on the lot prior to obtaining a final inspection (if applicable). Trees are to have a minimum 2-inch trunk diameter. Examples include Oaks, Cedar Elm, Bald Cypress, Desert Willow, Mountain Laurel, Texas Persimmon, Mexican Plum, etc.

☒ Prior to development, applicant agrees to supply a root zone mulch layer and maintain tree protection fencing (chain-link, five-foot in height) throughout the project duration.

☒ No additional impacts are permitted within the 1/2 Critical Root Zone, including utility trenching.

☐ Provide a receipt from a certified arborist for: ☐ remedial root care ☐ any required pruning

Applicant Signature

Date

City Arborist Signature

Date

Post this document on site while any proposed work is in progress.  
Conditions for approval of this application must be met within 1 year of the effective date.

v.5/2012

C2  
24

## TREE RISK EVALUATION FORM

(EXAMPLE)

Property address: 1410 GASTON AVE, 78703 Date: 7/20/12  
 Property owner: Caleb Wright Evaluator: David S. Madden  
 SIGNATURE: [Signature]  
 ISA/ASCA Certification #: TX-0190A

## 1. TREE CHARACTERISTICS

DBH of each trunk: 21 Common & Latin name: PECAN - *Carya illinoensis*  
 Location: Private / Public Estimated height & canopy spread (ft): 25-30' height = 30' spread  
 Age class: young / mature / over-mature / dead (if dead, there is no need to fill out section 2)  
 Deadwood: 0% 0-10% 10-25% 25-50% >50%  
 Form: generally symmetric / minor asymmetry / major asymmetry / stump sprout  
 Pruning history: crown cleaned / excessively thinned / topped / crown raised  
pollarded / crown reduced / utility clearance / storm damage cleaning / none  
 Crown class: dominant / co-dominant / intermediate suppressed

## 2. TREE HEALTH

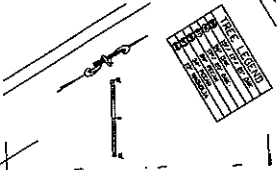
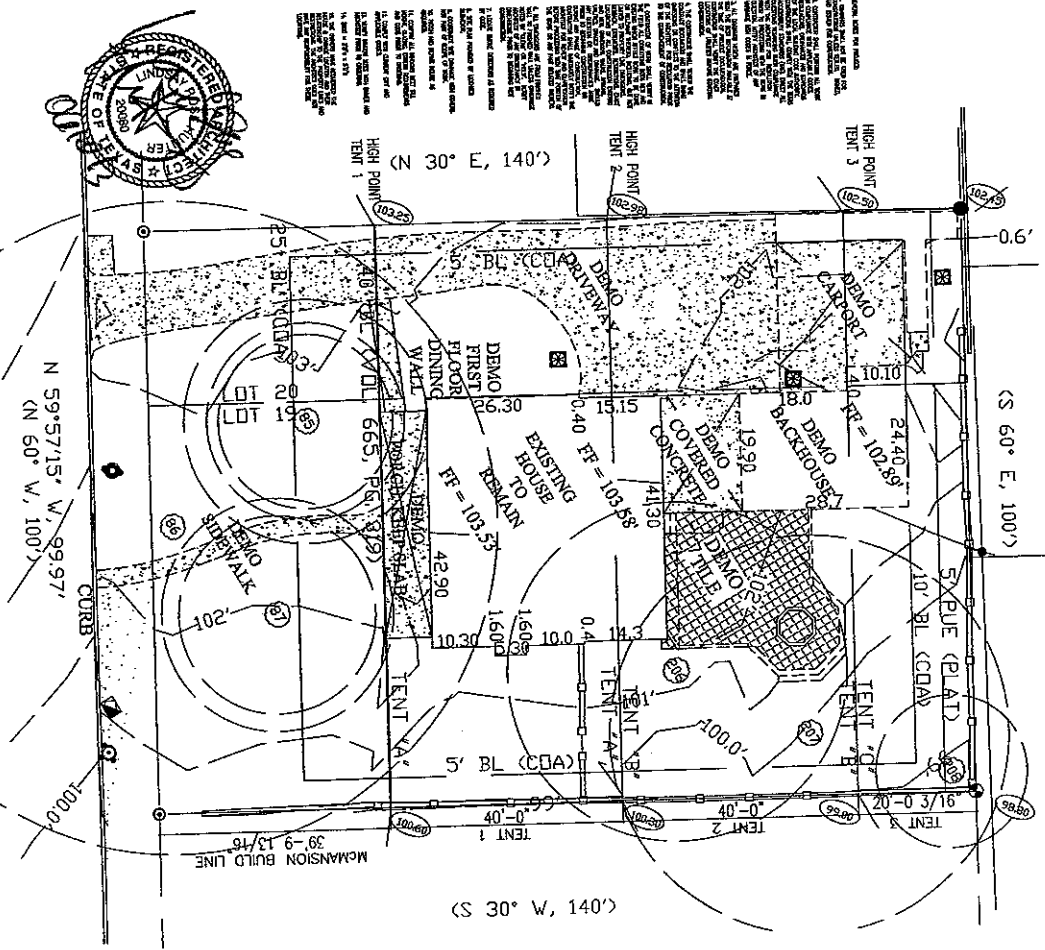
Foliage color: normal / chlorotic / necrotic Epicormics: Y / N  
 Foliage density: normal / sparse Leaf size: normal / abnormal  
 Annual shoot growth: 6" inches Twig dieback: Y / N  
 Callus development: Y / N If so, is callusing: excellent / average / fair / poor  
 Vigor class: excellent / average / fair / poor  
 Major pests/diseases: pecan rosette - zinc deficiency

## 3. SITE CONDITIONS

Site character: residence / commercial / industrial / park / open space / natural / other (see below)  
 Landscape type: parkway / raised bed / container open / other (see below)  
 Irrigation: none / adequate inadequate / excessive / trunk wetted  
 Dripline paved: 0% 10-25% 25-50% 50-75% 75-100%  
 Dripline w/ fill soil: 0% 10-25% 25-50% 50-75% 75-100%  
 Dripline grade lowered: 0% 10-25% 25-50% 50-75% 75-100%  
 Dripline grade raised: 0% 10-25% 25-50% 50-75% 75-100%  
 Soil problems: drainage / shallow / compacted / small volume / other (see below)  
 Obstructions: lights / signage / line of sight / view / overhead lines / traffic / other (see below)  
 Wind (tree position): single tree below canopy / above canopy / recently exposed / canopy edge  
 Other: \_\_\_\_\_

2/25/22

NOTES FOR THE USER:  
 1. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
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 9. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



SUBDIVISION: PEMBERTON HEIGHTS SECTION 8  
 LOT: 13 & E 30' OF 20 BLOCK: 27 VOLUME: 4 PAGE: 29 PLAT RECORDS  
 COUNTY: TARRANTS STATE OF TEXAS STREET ADDRESS: 1410 GASTON AVENUE  
 CITY: AUSTIN REFERENCE NAME:

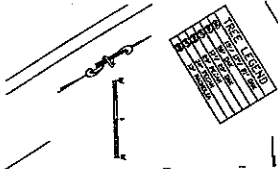
Architect:  
 Lindsay Hunter  
 1408 Edridge Ave  
 Austin, Texas 78703

1410 Gaston Ave

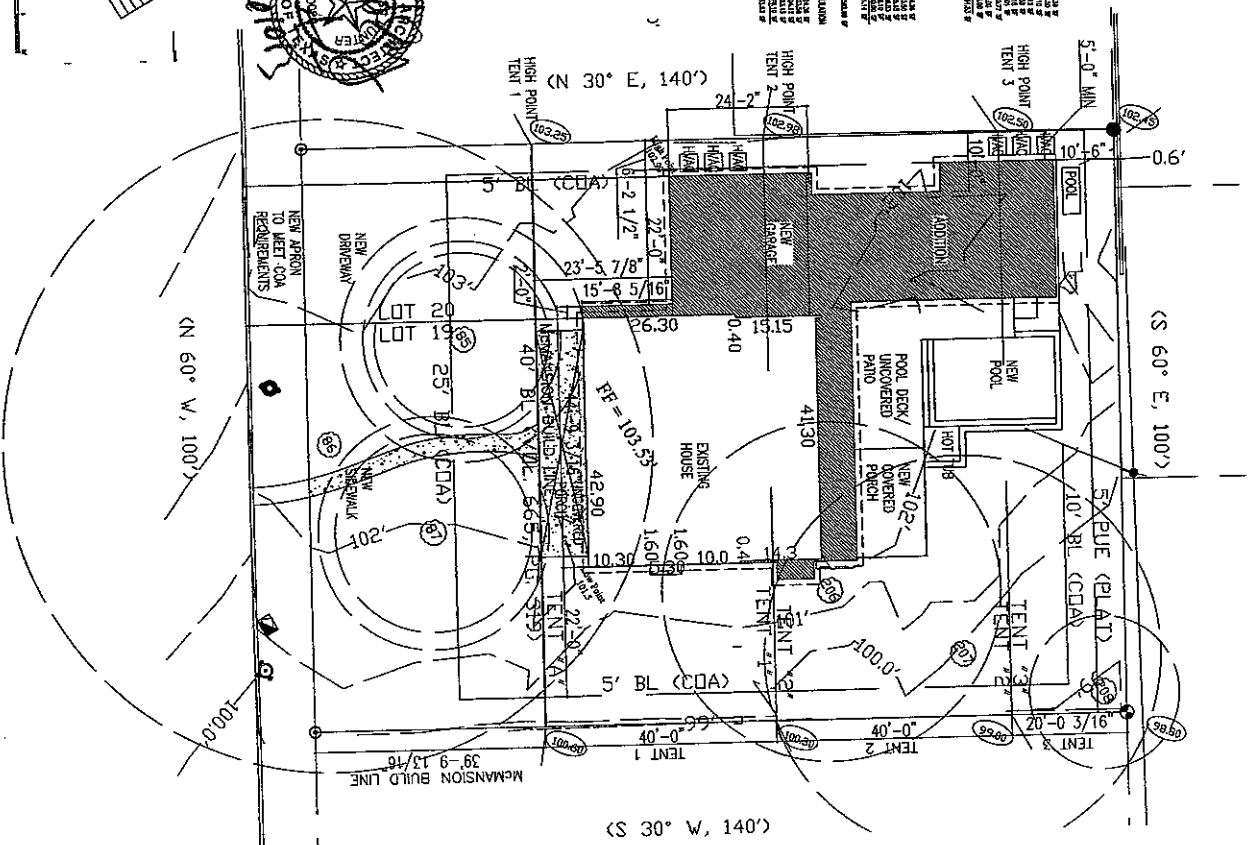
Demo Site Plan  
 Scale: 1/8" = 1'-0"

26  
C2

SITE 1302.19  
 APPLICANT: [Name]  
 PROJECT: [Name]  
 ADDRESS: [Address]  
 CITY: [City]  
 COUNTY: [County]  
 STATE: [State]  
 ZIP: [ZIP]  
 DATE: [Date]  
 SCALE: [Scale]  
 SHEET: [Sheet]

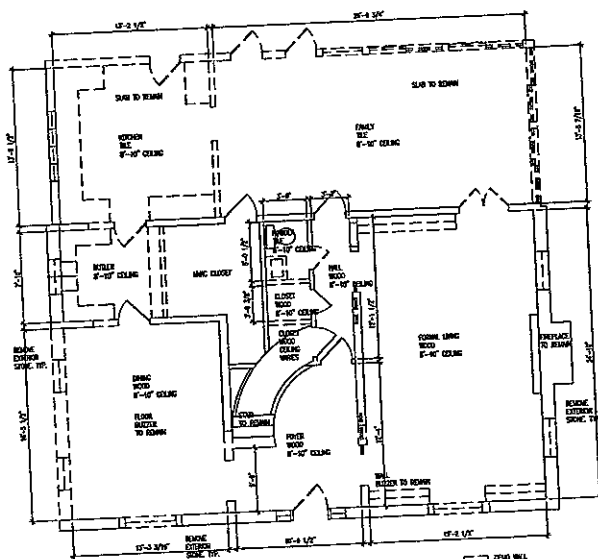


SUBDIVISION: [Name]  
 LOT: [Lot Number]  
 BLOCK: [Block Number]  
 COUNTY: [County]  
 CITY: [City]  
 STATE OF TEXAS  
 ADDRESS: [Address]  
 REFERENCE NAME: [Name]



Architect: [Name]  
 1410 Gaston Ave  
 Austin, Texas 78703  
 Site Plan  
 Scale: 1/8" = 1'-0"

12/27

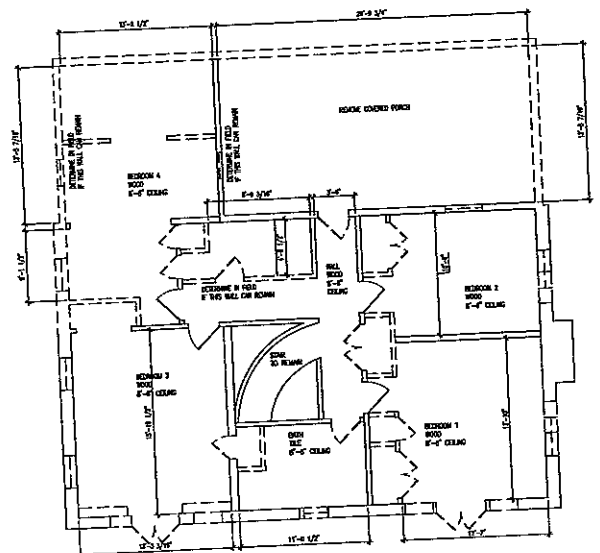


Demo First Floor

Scale: 1/8" = 1'-0"

1/16

Architect:  
Lindsay Hunter  
1408 E. Bridge Ave  
Austin, Texas 78703



Demo Second Floor

Scale: 1/16" = 1'-0"



1410 Gaston Ave

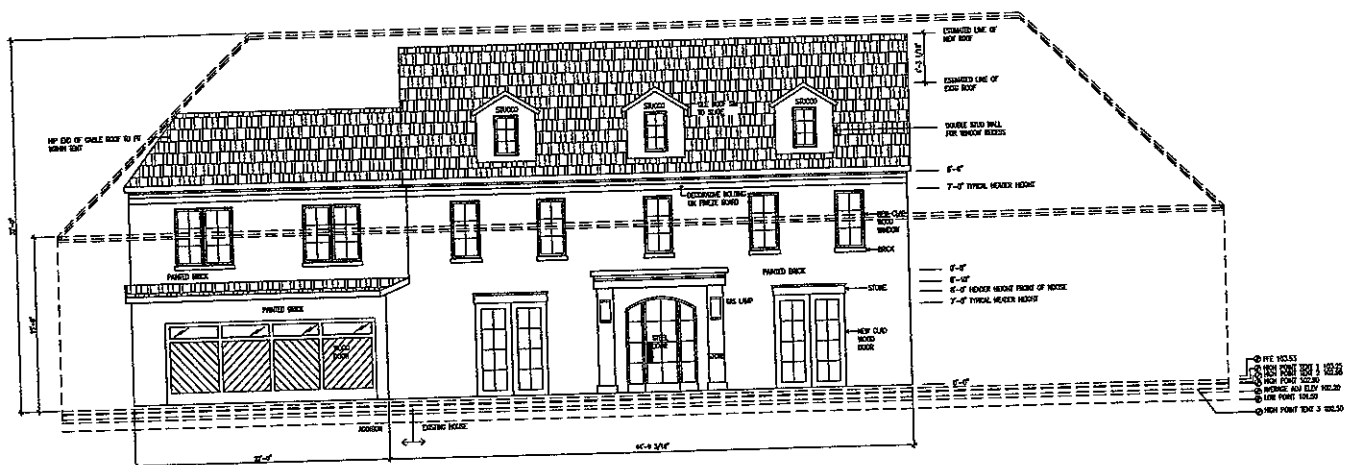
06/03

First Floor  
Scale = 1"=0'  
File



Second Floor  
Scale: 1" = 1'-0"

C2  
30

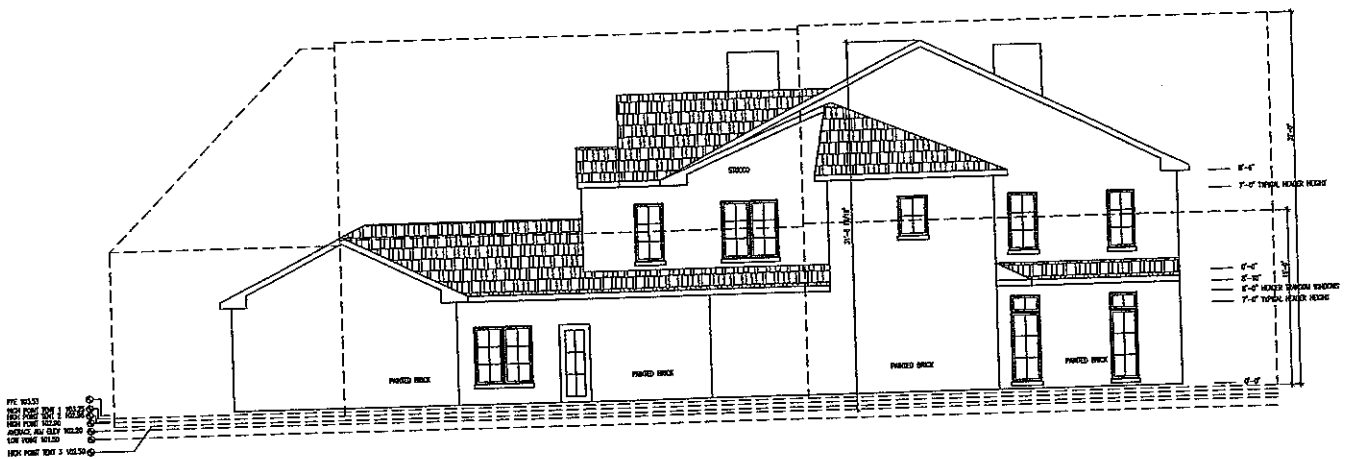


Architect:  
Lindsay Hunter  
1408 Ethridge Ave  
Austin, Texas 78703

1410 Gaston Ave



South Elevation  
Scale: 1/4" = 1'-0"

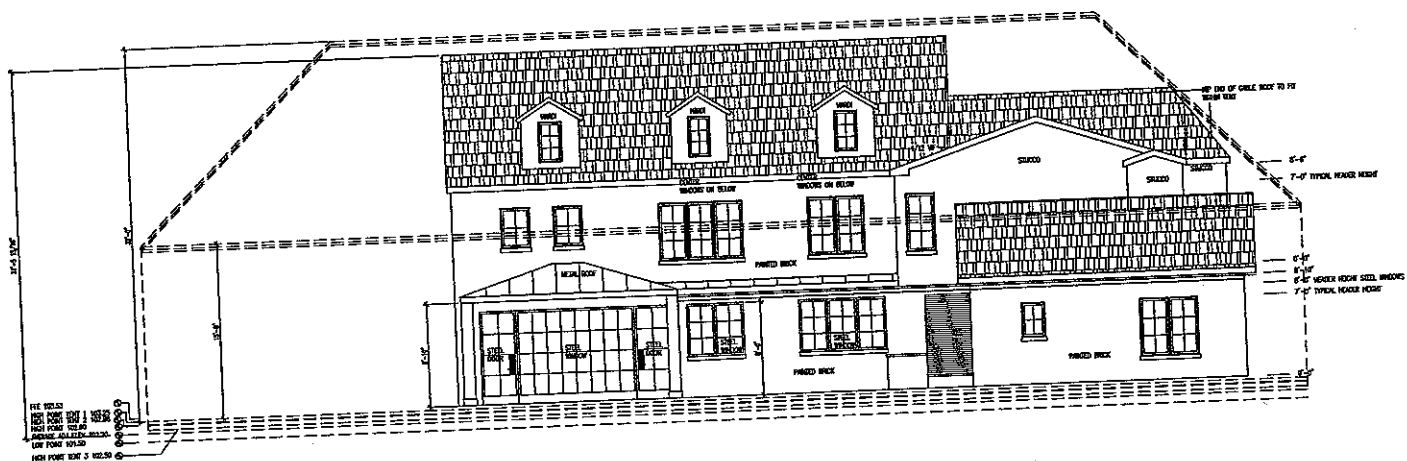


Architect:  
Lindsay Hunter  
1408 Ethridge Ave  
Austin, Texas 78703

1410 Gaston Ave



West Elevation  
Scale:  $\frac{1}{16}'' = 1'-0''$

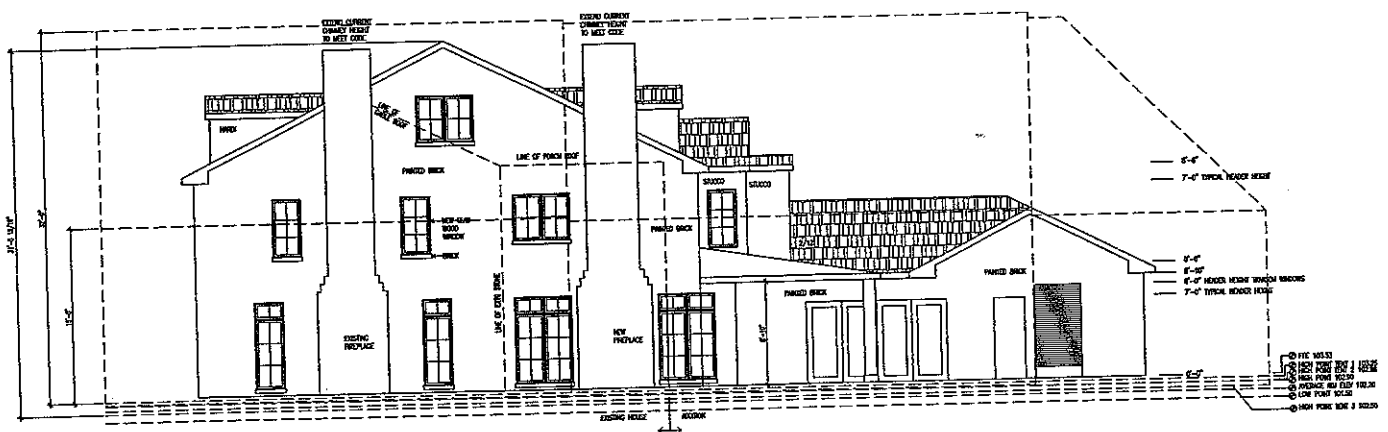


Architect:  
Lindsay Hunter  
1408 Ethridge Ave  
Austin, Texas 78703

1410 Gaston Ave



North Elevation  
Scale:  $\frac{1}{4"} = 1'-0"$



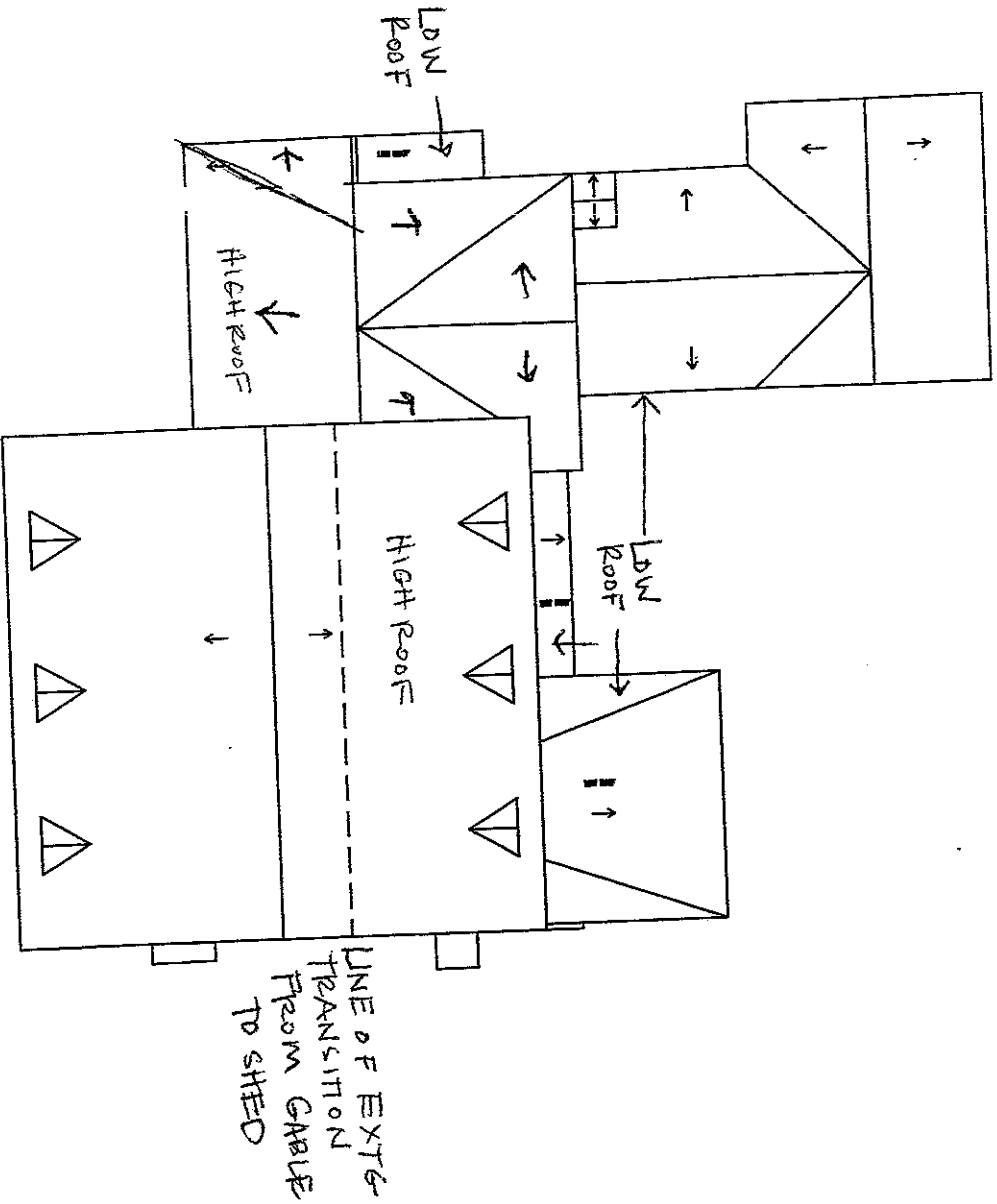
**Architect:**  
Lindsay Hunter  
1408 Ethridge Ave  
Austin, Texas 78703

1410 Gaston Ave

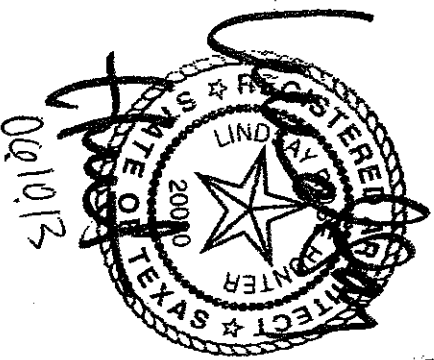


East Elevation  
Scale:  $\frac{1}{16}$  or 1'-0"

C2  
34



Architect:  
Lindsay Hunter  
1408 Ethridge Ave  
Austin, TX 78703



1410 GASTON  
AVE

ROOF PLAN  
NOT TO SCALE

CHARLTON N. LEWIS  
 ARCHITECT  
 1470 CAYTON AVENUE  
 SUITE 100  
 BOSTON, MA 02116  
 TEL: 617-552-1111  
 FAX: 617-552-1112

CLD  
 CHARLTON N. LEWIS  
 DESIGN STUDIO

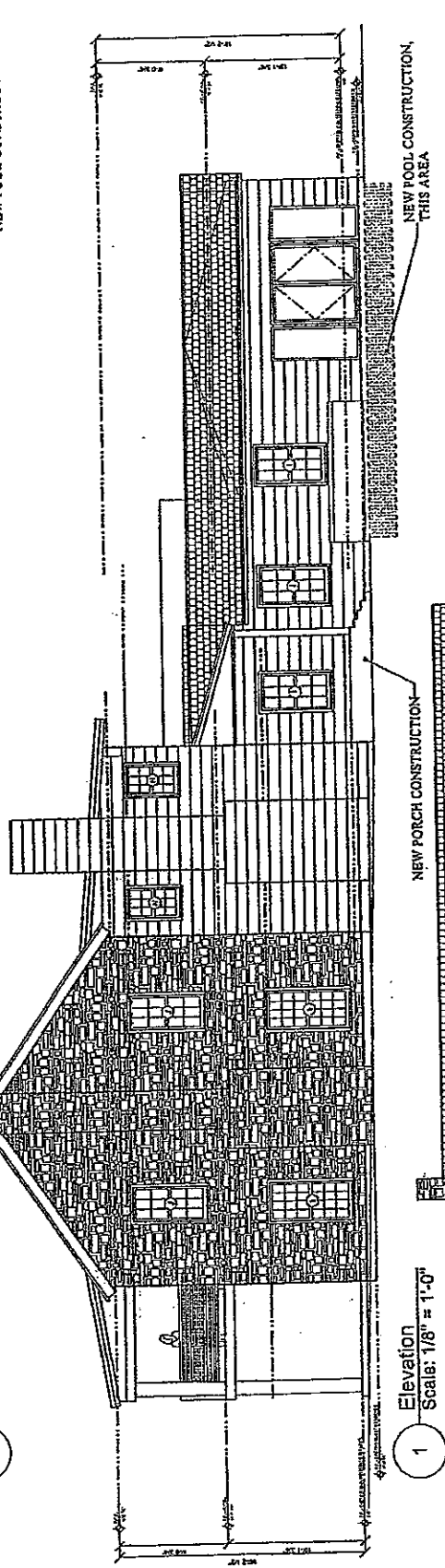
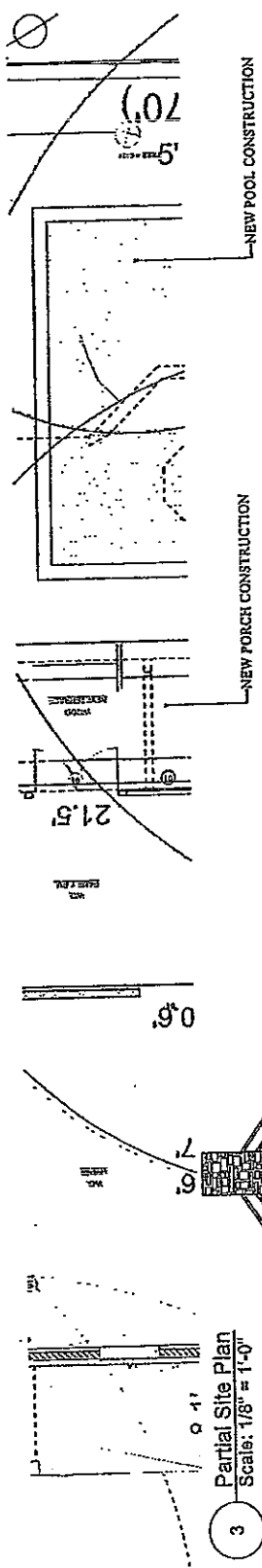
PROJECT  
 WRIGHT RESIDENCE  
 RENOVATION & ADDITION  
 1470 CAYTON AVENUE

DRAWN BY  
 DATE  
 SCALE  
 PROJECT NO.

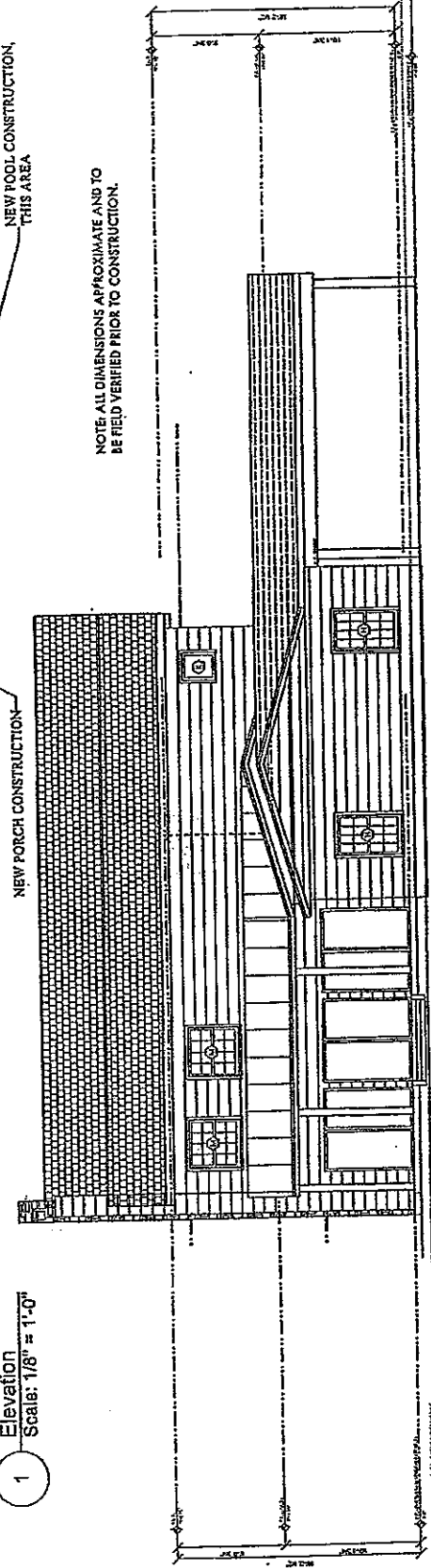
SHEET TITLE  
 ELEVATIONS

A2.1

35/2



NOTE ALL DIMENSIONS APPROXIMATE AND TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



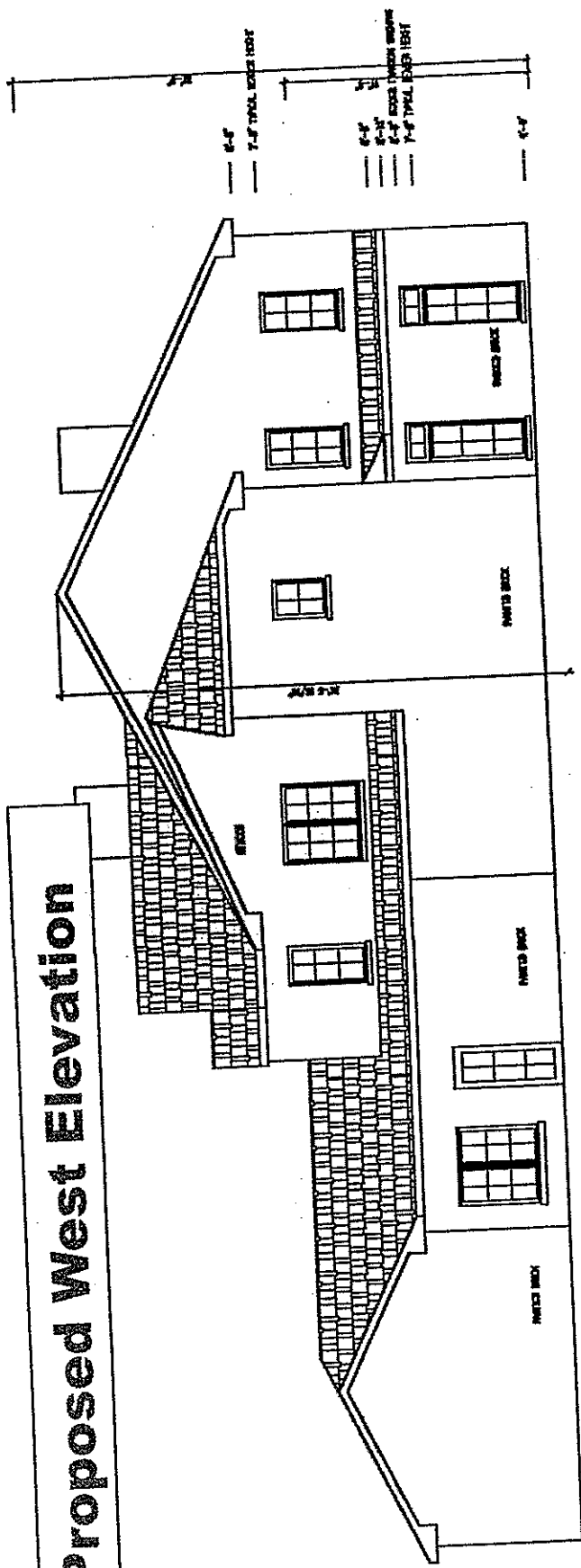
NOTE ALL DIMENSIONS APPROXIMATE AND TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



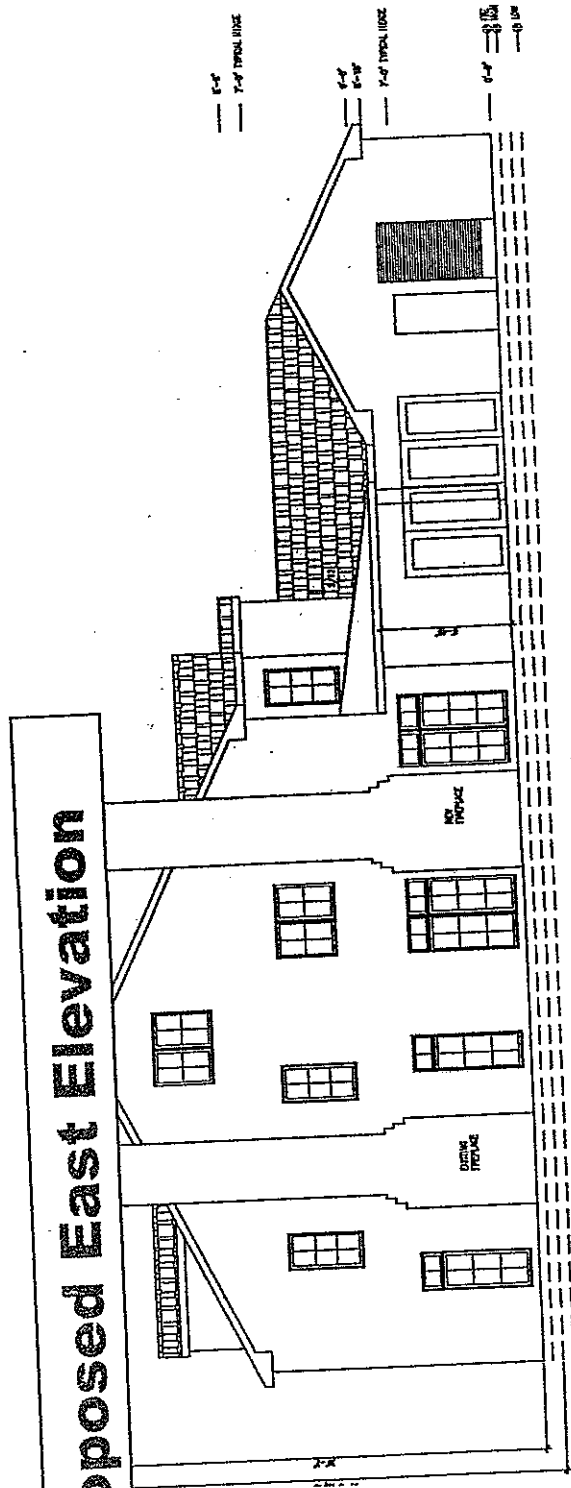


C2  
37

# Proposed West Elevation



# Proposed East Elevation



June 9, 2013

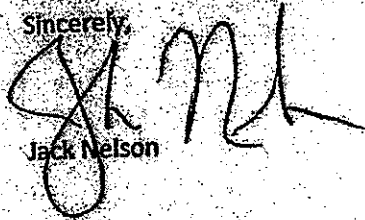
Lindsay Hunter  
1408 Ethridge  
Austin, TX 78703

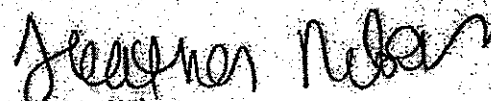
Re: 1410 Gaston

Dear Lindsay,

This letter acknowledges that we have authorized you and/or LRH Architecture, LLC to pull and file all required permits on our behalf for our property at 1410 Gaston. Feel free to provide this letter to others and pass along our contact information.

Sincerely,

  
Jack Nelson

  
Heather Nelson



# Demolition Application

Adopted December 2012

12/39

Application type: Commercial ☐

Residential ☐

Fee paid: \$

## Permit Information

FOR OFFICE USE ONLY

BP- PR-

LHD\_NRD\_HDP - Ca.

REFERRED BY:

NRHD/LHD:

☐ RELEASE PERMIT

☐ DO NOT RELEASE PERMIT

☐ HLC REVIEW-

HISTORIC PRESERVATION OFFICE

DATE

## Property Information

Address: 1410 Gaston Ave

City/Zip: Austin, TX

Current use: single family home

## Demolition Type

☐ Total

☒ Partial—identify the exterior wall(s), roof or portion of wall(s) and roof to be demolished.

stone & window removal, interior wall relocation, rear wall removal see demo plans

## Applicant

Name: LPH Architecture LLC

Address: 1408 Ethridge Ave

City/Zip: Austin TX

Phone: 512 658 0945

Email: alindsayrose@yahoo.com

## Owner

Name: Heather & Jack Nelson

Address: 1410 Gaston Ave

City/Zip: Austin TX 78703

Phone: 512.944.4778

Email: heathernelson5@gmail.com

## Demolition Contractor Information

Company: Bill Stone

Address: 4866 Travis Oaks Dr

City/Zip: Marble Falls TX 78654

Phone: 512 704 6375

## Structural Information

Square Feet: 2900 SF

Building Materials: stone walls wood framing

Foundation Type: pier + beam

Estimated cost of demolition: \$10,000

## IMPORTANT:

Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after 180 days from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

## DO NOT LET YOUR PERMIT EXPIRE!!!!

**HISTORIC LANDMARKS AND DISTRICTS:** If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office.



# Demolition Application

Page 2 of PR- \_\_\_\_\_

C2  
40

## Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of this page  
**OR a NOTARIZED** letter of authorization from the owner giving the applicant permission to apply.
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from Travis Central Appraisal District, 512-854-9473
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street.
- ☐ 5. Review Fee (see fee schedule for applicable fees)

## Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped site plan OR an approved Site Development Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

## Consent, Authorizations and Signatures

I understand and will adhere to the following rules or regulations:

1. **No work may begin prior to issuance of this permit**
2. It is important to verify with the Development Assistance Center (DAC) that new construction will be permitted on the property at this location PRIOR to filing this application.
3. If the structure to be demolished is currently tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer service information.
4. If the proposed work will require the removal of any tree protected by ordinance or impact the critical root zone as defined within the Environmental Criteria Manual (3.5.2.A), a Tree Ordinance Review Application is required prior to any such activity. Note, root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work commencing. Information can be found at <http://www.austintexas.gov/department/city-arborist>. Contact the City Arborist Program at (512) 974-1876 or [cityarborist@austintexas.gov](mailto:cityarborist@austintexas.gov).
5. If the proposed work will require use of City right-of-way, a Right of Way Application must be approved prior to any such activity. Applications may be obtained in the Watershed Protection and Development Review located on the 8<sup>th</sup> floor at One Texas Center. For additional information, call 974-7180 or go to <http://www.austintexas.gov/department/right-way-management>
6. **The Historic Preservation Office will review this application to determine if the structure that is subject of this application is potentially historic as defined by §25-11-214 of the City of Austin Land Development Code. Additional review by the Historic Landmark Commission may be required and additional fees may be assessed.**
7. Once this review is complete and approved, the permit may be obtained from the Permit Center and additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

☐ As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Signature of Applicant: \_\_\_\_\_

(if different from owner)

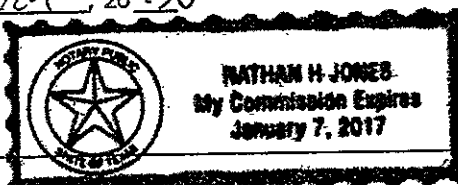
Signature of Owner: \_\_\_\_\_

Date: \_\_\_\_\_

Date: 3/15/13

Sworn and subscribed before me this 15 day of March, 2013

Signature of Public Notary: \_\_\_\_\_



TAX CERTIFICATE  
Bruce Elfant  
Travis County Tax Assessor-Collector  
P.O. Box 1748  
Austin, Texas 78767  
(512) 854-9473

NO 1522152

C2  
41

ACCOUNT NUMBER: 01-1600-0519-0000

PROPERTY OWNER:

WRIGHT STUART S  
PO BOX 684808  
AUSTIN, TX 78768-4808

PROPERTY DESCRIPTION:

LOT 19 & E 30 FT OF LOT 20 BLK 27  
PEMBERTON HEIGHTS SEC 8

ACRES

.3178 MIN%

.000000000000 TYPE

SITUS INFORMATION: 1410 GASTON AVE

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR ENTITY  
2012 AUSTIN ISD  
CITY OF AUSTIN (TRAV)  
TRAVIS COUNTY  
TRAVIS CENTRAL HEALTH  
ACC (TRAVIS)

TOTAL  
\*ALL PAID\*  
\*ALL PAID\*  
\*ALL PAID\*  
\*ALL PAID\*  
\*ALL PAID\*

\*ALL PAID\*

TOTAL SEQUENCE 0

TOTAL TAX:  
UNPAID FEES:  
INTEREST ON FEES:  
COMMISSION:  
TOTAL DUE ==>

\*ALL PAID\*  
\* NONE \*  
\* NONE \*  
\* NONE \*  
\*ALL PAID\*

TAXES PAID FOR YEAR 2012 \$23,668.14

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2012 EXCEPT FOR UNPAID YEARS LISTED ABOVE.  
The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).  
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 03/07/2013

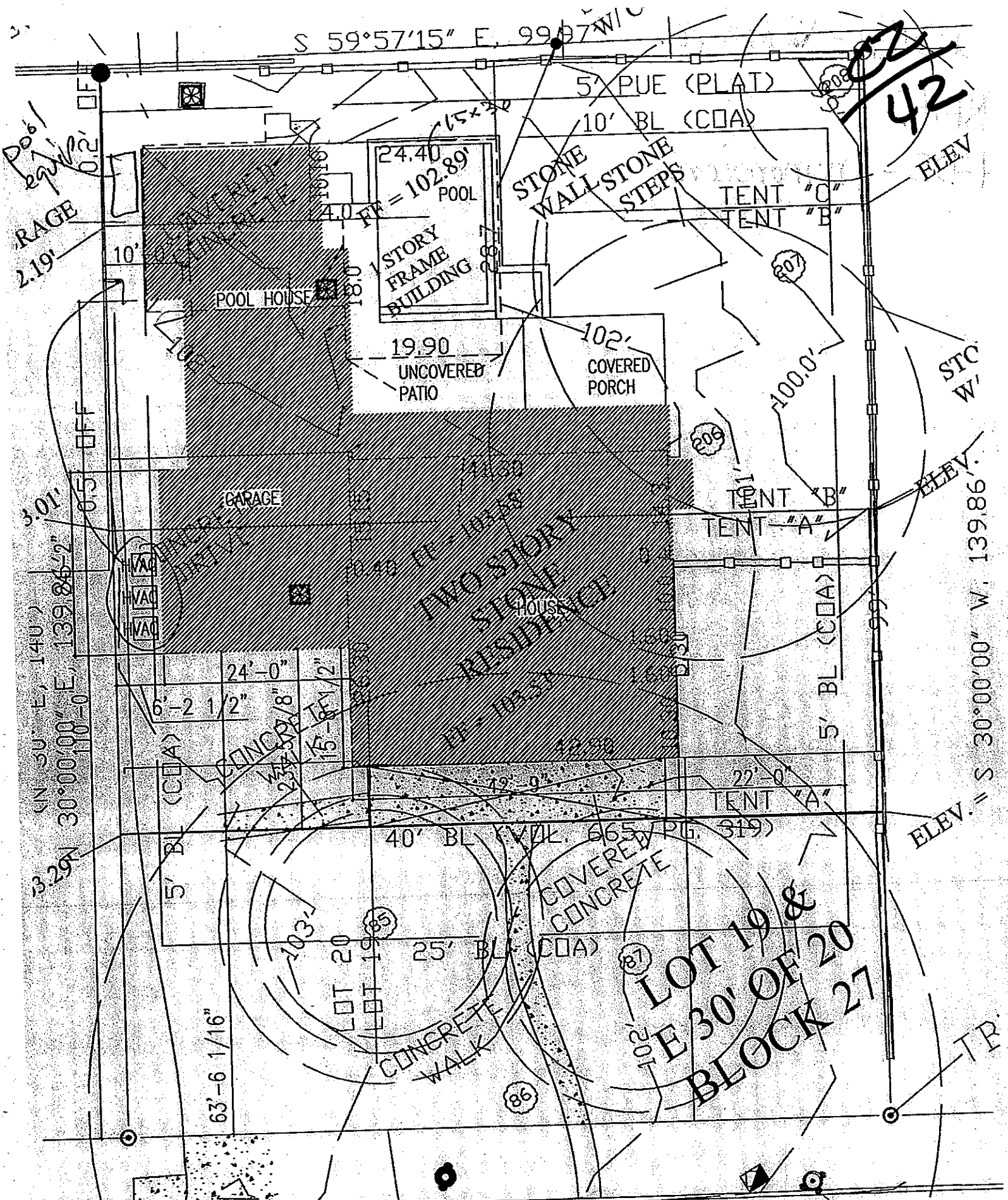
Fee Paid: \$10.00

Bruce Elfant  
Tax Assessor-Collector

By: 

THOMASC printed on 03/07/2013 @ 12:12:23:66

Page# 1



Architect:  
Lindsay Hunter  
Texas License No: 20080  
1408 Ethridge Ave  
Austin Texas 78703

1410 Gaston Ave  
CURB  
N 59°57'15" W, 99°07'W

Site Plan  
Scale: 1/16" = 1'-0"



C2  
43

**City of Austin  
Planning and Development Review  
Land Status Determination  
1995 Rule Platting Exemption**

**March 08, 2013**

**File Number: C8I-2013-0074**

**Address: 1410 GASTON AVE**

**Tax Parcel I.D. # 115727**

**Tax Map Date: 03/08/2013**

The Watershed Protections & Development Review has determined that this parcel, as described in the attached description and map, **IS EXCEPTED FROM THE REQUIREMENT TO PLAT** in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being **Lot 19 And The East 30 Feet Of Lot 20, Block 27, Pemberton Heights Section 8** in the current deed, recorded on **Feb 15, 2013**, in **Document #201300113**, Travis County Deed Records. This parcel existed in its current configuration on January 1, 1995, as evidenced by a deed recorded on **Nov 01, 1984**, in **Volume 8948**, Page **696**, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 212.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by **wastewater** service on **Jul 26, 1941**. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

**Additional Notes/Conditions:**

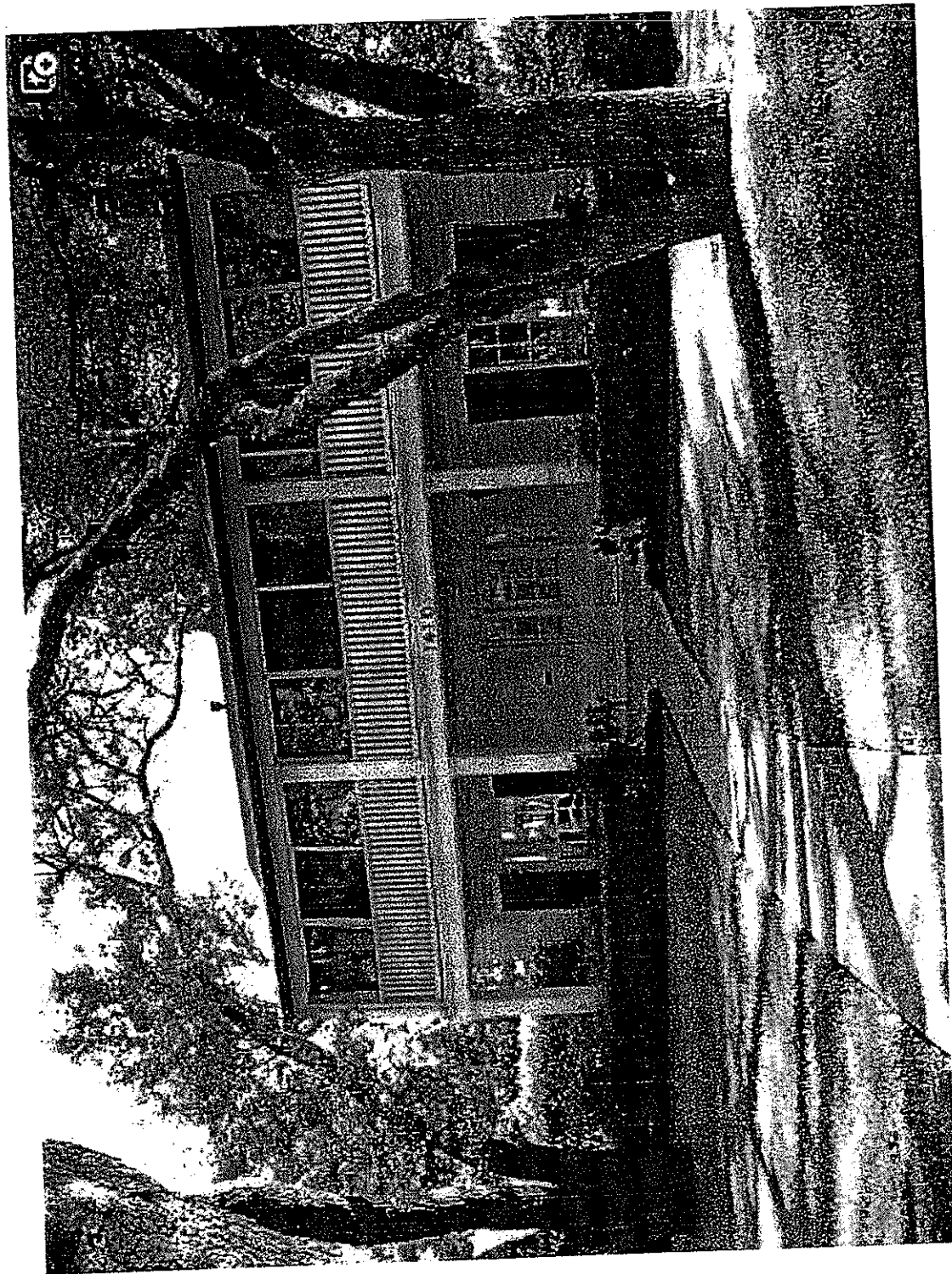
**NONE**

This determination of the status of the property is based on the application of Chapter 212, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code; and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other portion of the City Code or any other regulation.

By: *Glenn Rhoades*  
**Glenn Rhoades, Representative of the Director  
Planning and Development Review**



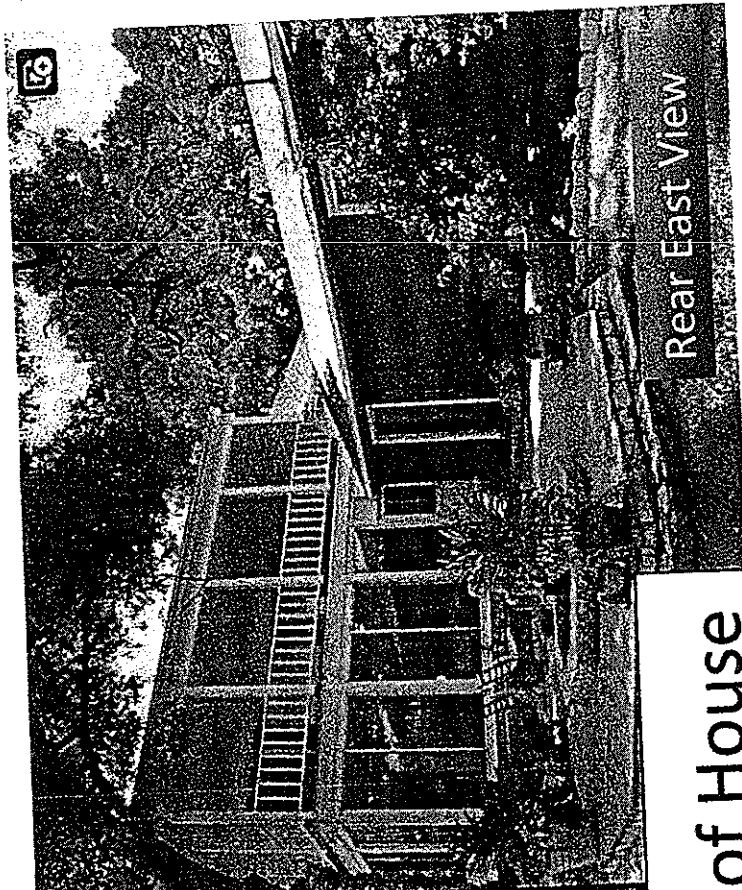
C2  
44



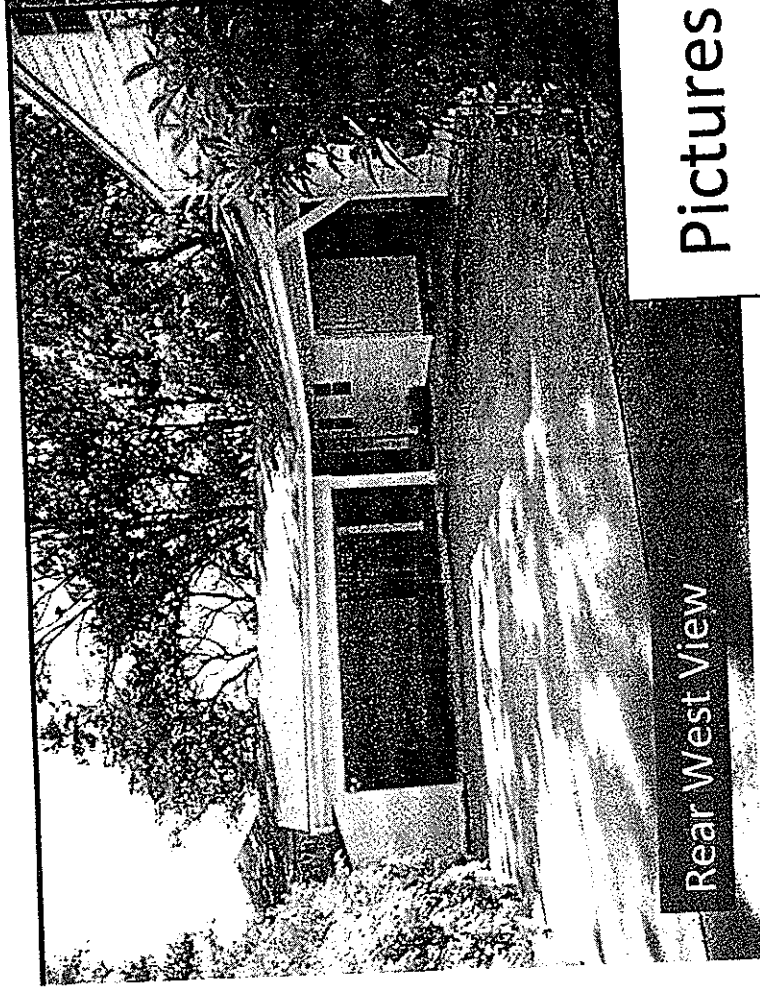
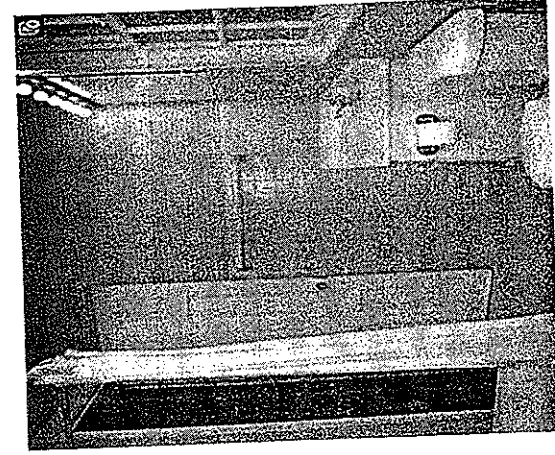
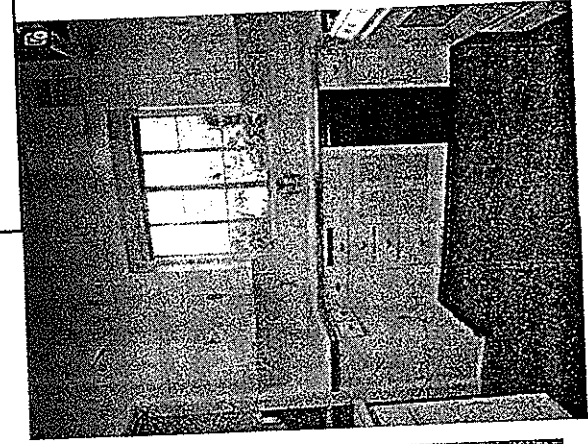
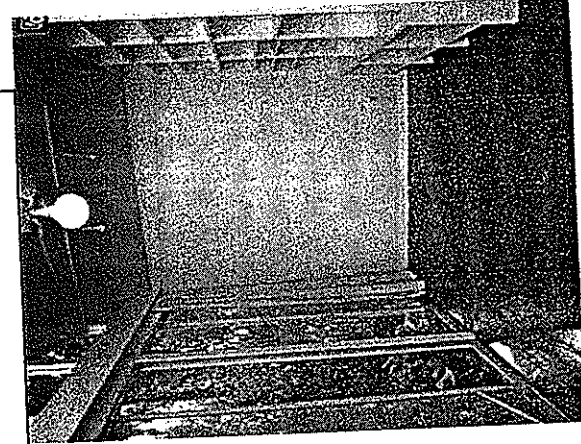
1410 GASTON



62/5



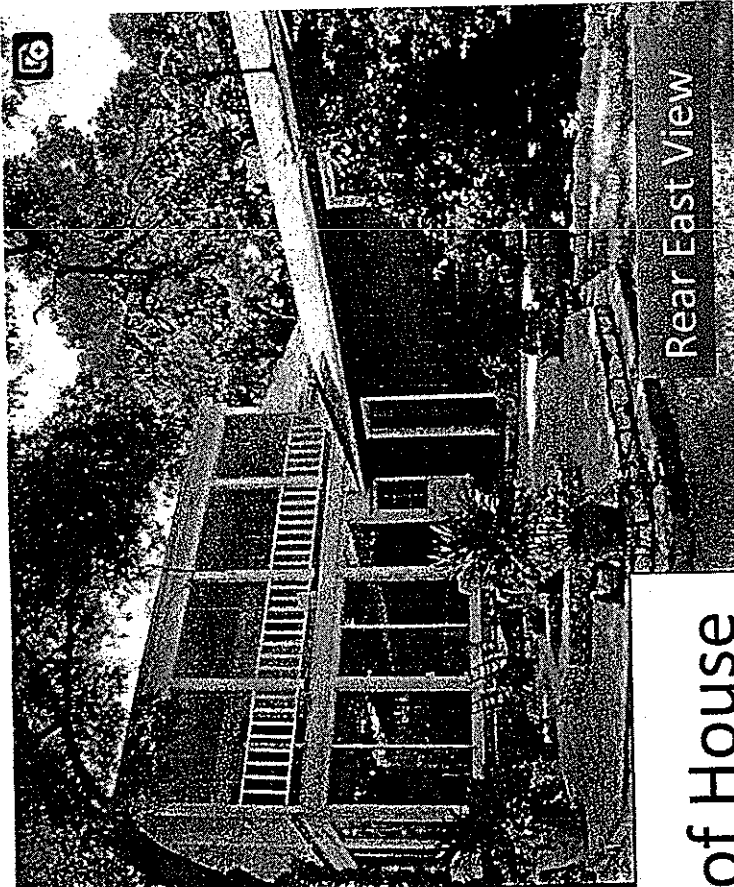
Rear East View



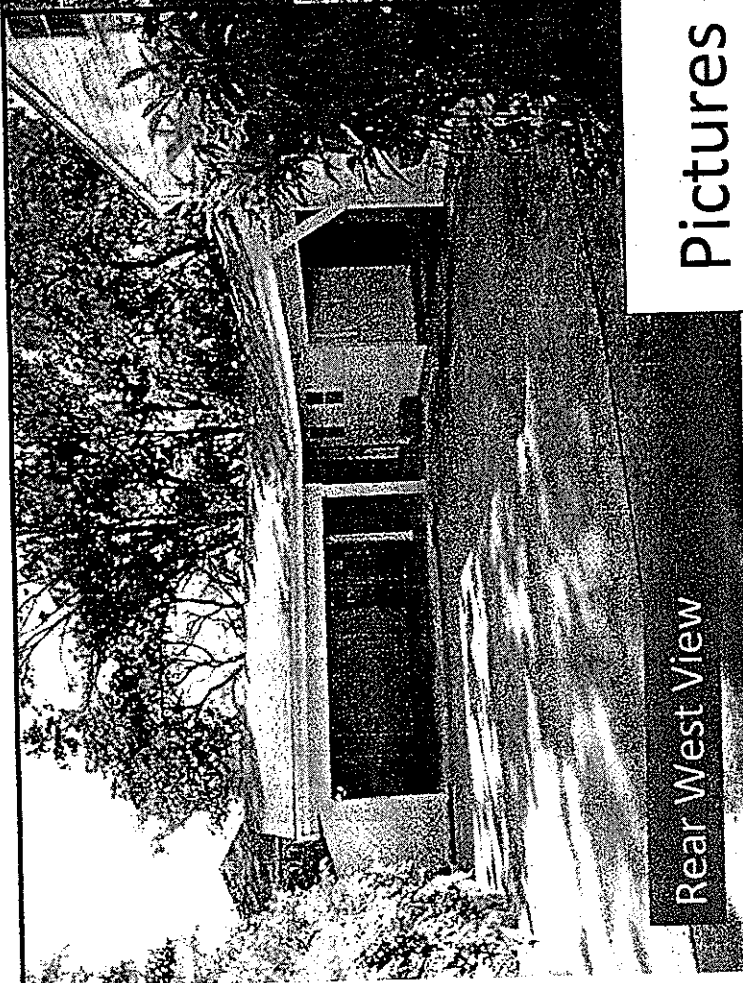
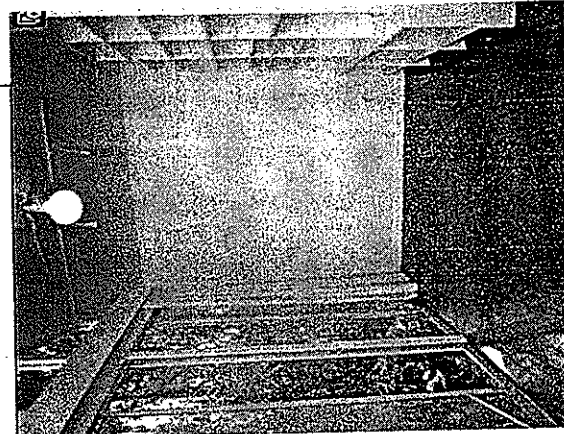
Rear West View

Pictures of House

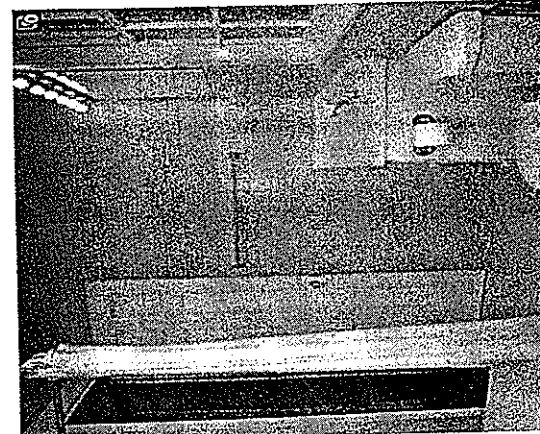
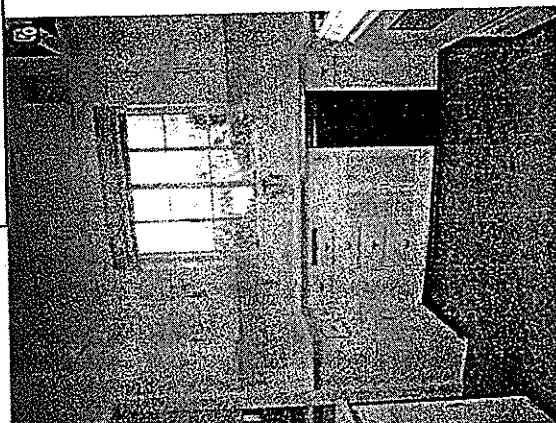
C2/46



Rear East View

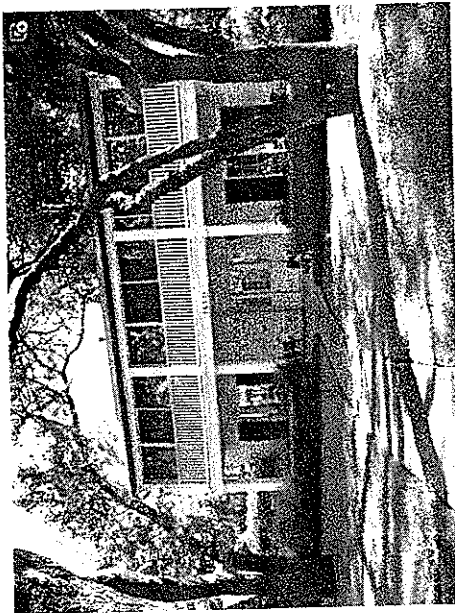


Rear West View



Pictures of House

**FAR Variance Request**  
**Nelson Residence**  
**1410 Gaston Avenue**  
**Austin, Texas 78703**



**Remodel & Addition**  
**Case Number:**

**Property ID:**

**115727**

**Geographic ID:**

**0116000519**

**Lot:**

**Lot 19 & E 30 FT of Lot 20, Block 27,**

**SEC 8**

**Pemberton Heights**



**C2/47**

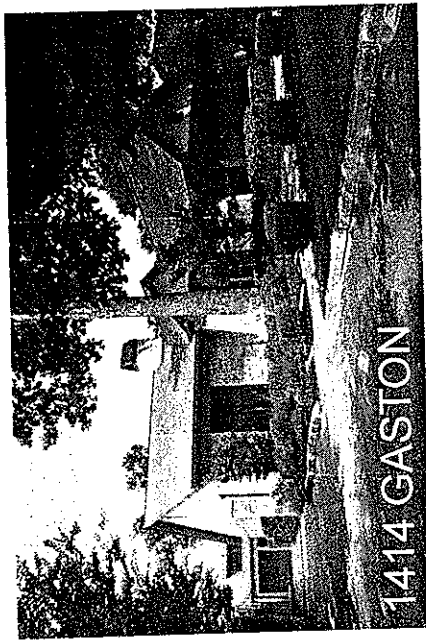
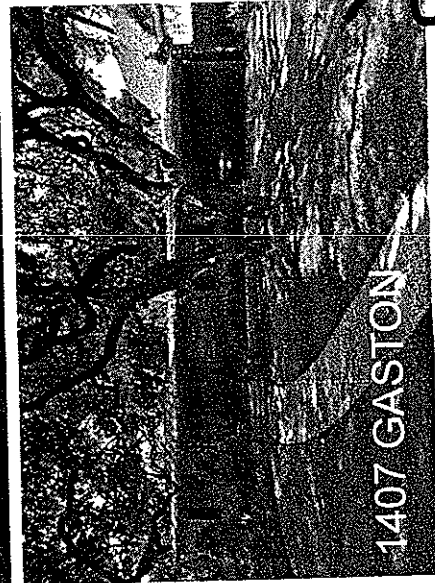
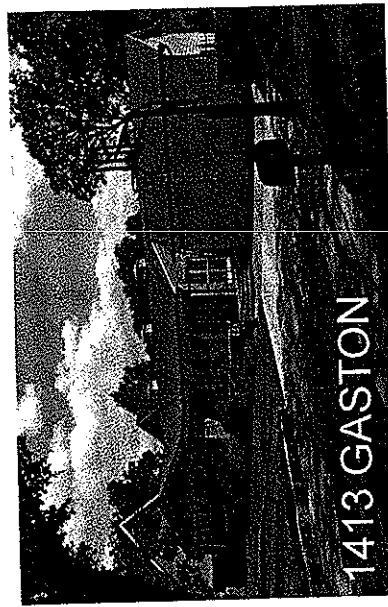
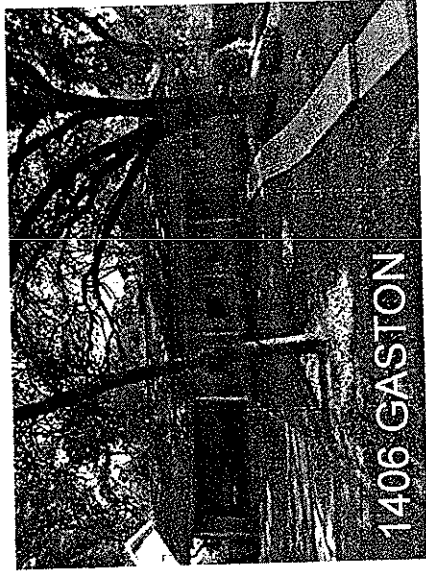


# Aerial View

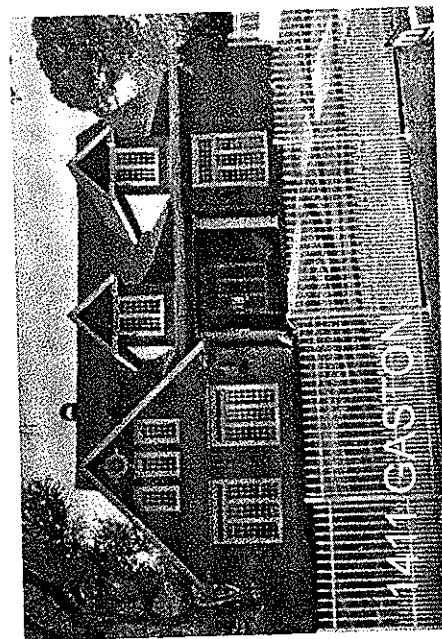
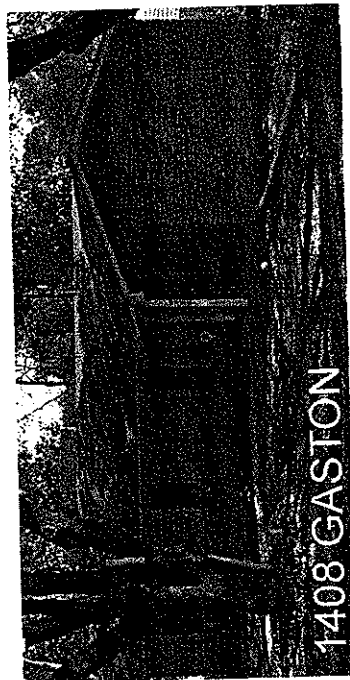
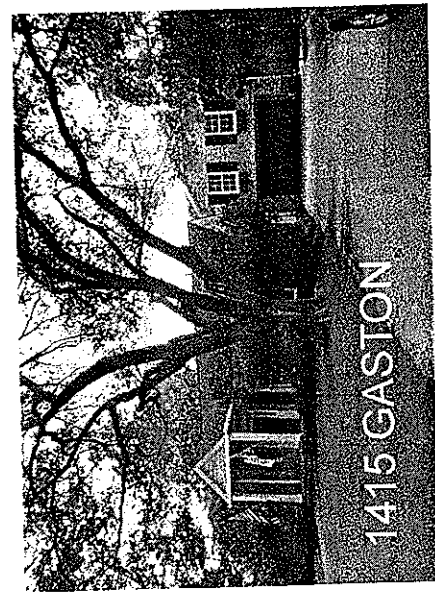


C2  
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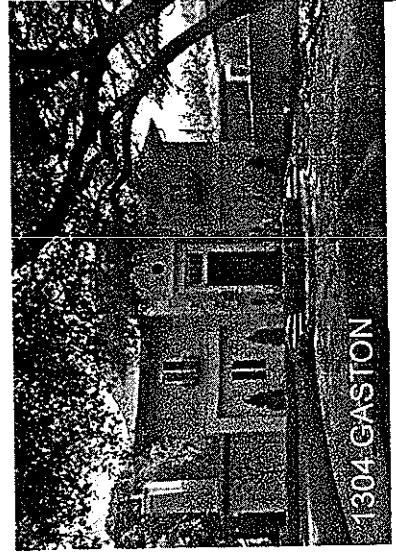
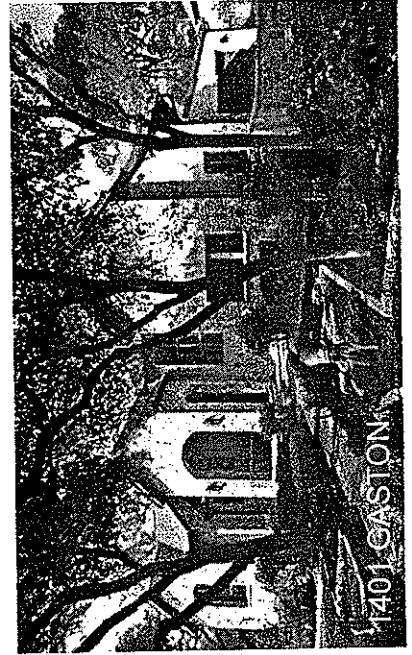
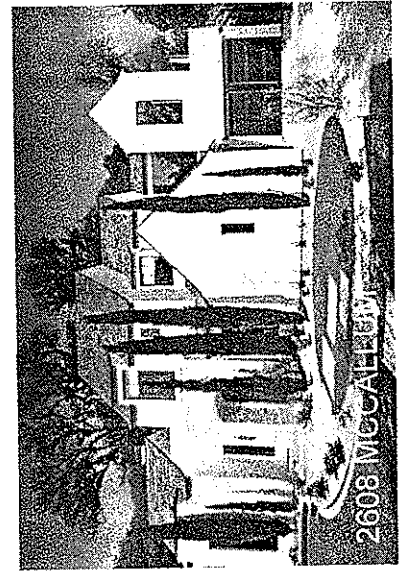
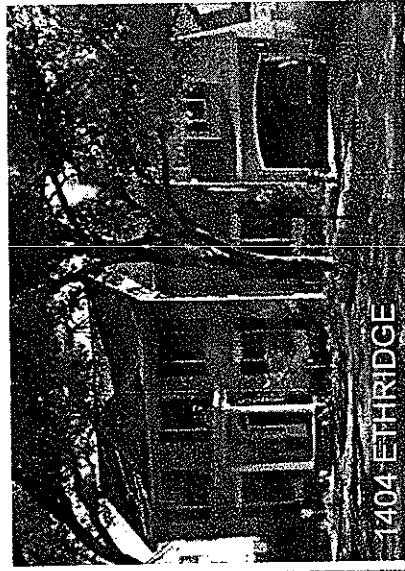
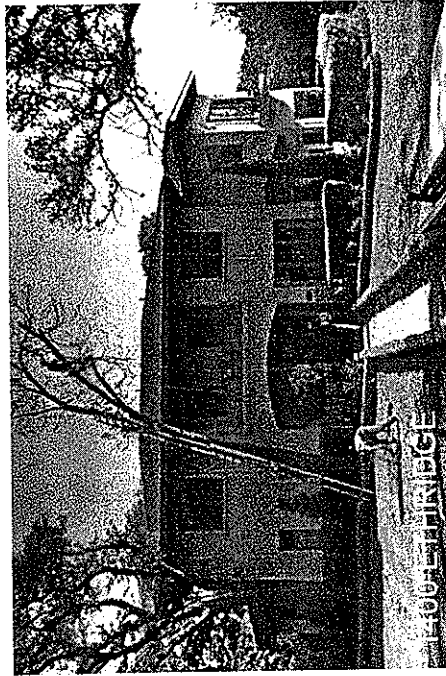
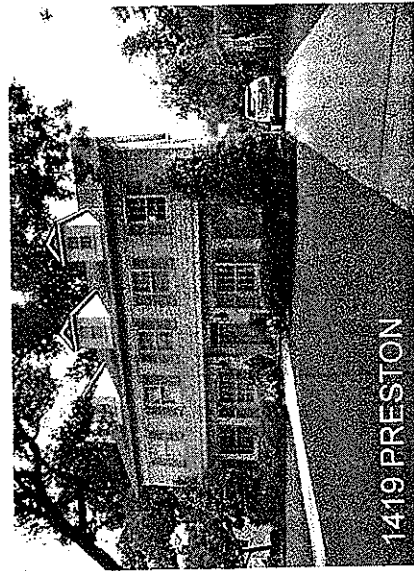
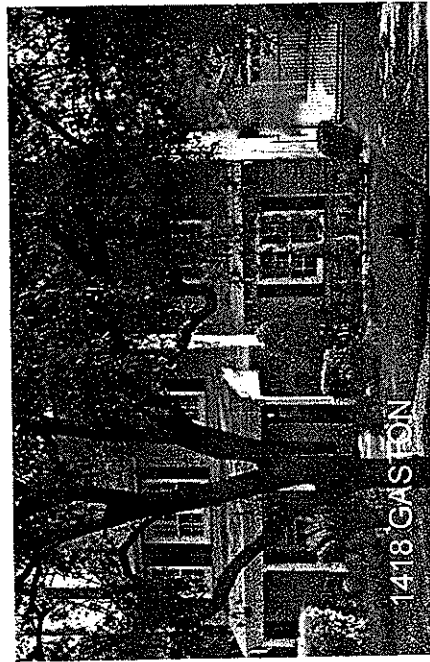
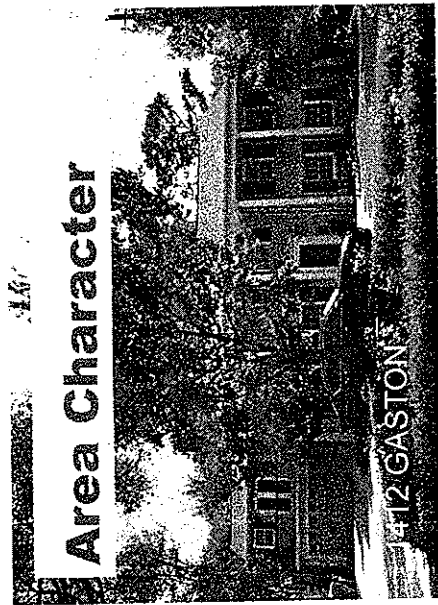
12/49



Four Closest  
Houses On Same  
Side and Across  
Street



**Area Character**



C2/S



500'

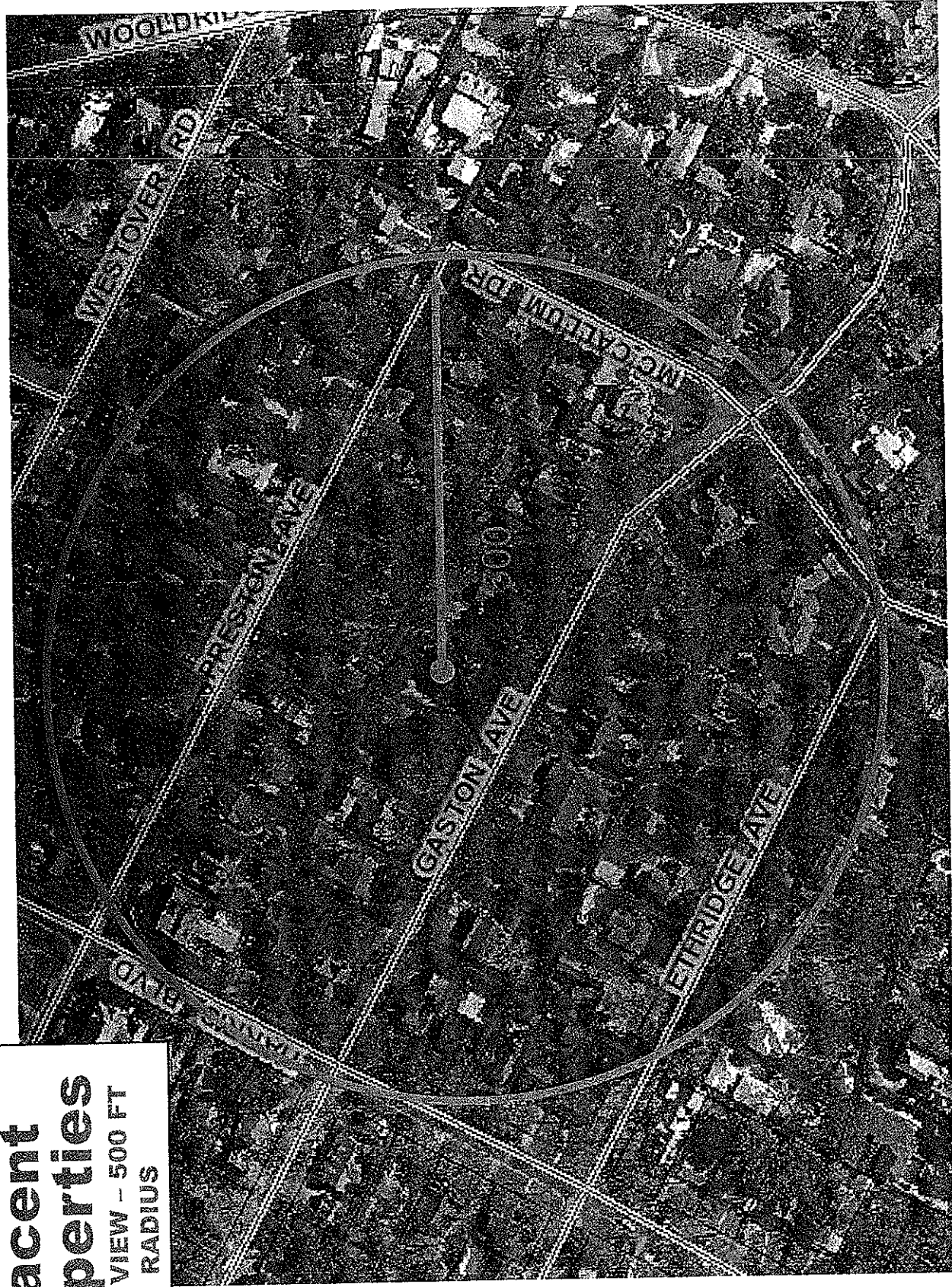
Westover Rd

115024 211026 211027 211029 118211 115028 115029 115030 115031 115032 115033 115034 115035 115036 115037 115038 115039 115040 115041 115042 115043 115044 115045 115046 115047 115048 115049 115050 115051 115052 115053 115054 115055 115056 115057 115058 115059 115060 115061 115062 115063 115064 115065 115066 115067 115068 115069 115070 115071 115072 115073 115074 115075 115076 115077 115078 115079 115080 115081 115082 115083 115084 115085 115086 115087 115088 115089 115090 115091 115092 115093 115094 115095 115096 115097 115098 115099 115100 115101 115102 115103 115104 115105 115106 115107 115108 115109 115110 115111 115112 115113 115114 115115 115116 115117 115118 115119 115120 115121 115122 115123 115124 115125 115126 115127 115128 115129 115130 115131 115132 115133 115134 115135 115136 115137 115138 115139 115140 115141 115142 115143 115144 115145 115146 115147 115148 115149 115150 115151 115152 115153 115154 115155 115156 115157 115158 115159 115160 115161 115162 115163 115164 115165 115166 115167 115168 115169 115170 115171 115172 115173 115174 115175 115176 115177 115178 115179 115180 115181 115182 115183 115184 115185 115186 115187 115188 115189 115190 115191 115192 115193 115194 115195 115196 115197 115198 115199 115200 115201 115202 115203 115204 115205 115206 115207 115208 115209 115210 115211 115212 115213 115214 115215 115216 115217 115218 115219 115220 115221 115222 115223 115224 115225 115226 115227 115228 115229 115230 115231 115232 115233 115234 115235 115236 115237 115238 115239 115240 115241 115242 115243 115244 115245 115246 115247 115248 115249 115250 115251 115252 115253 115254 115255 115256 115257 115258 115259 115260 115261 115262 115263 115264 115265 115266 115267 115268 115269 115270 115271 115272 115273 115274 115275 115276 115277 115278 115279 115280 115281 115282 115283 115284 115285 115286 115287 115288 115289 115290 115291 115292 115293 115294 115295 115296 115297 115298 115299 115300 115301 115302 115303 115304 115305 115306 115307 115308 115309 115310 115311 115312 115313 115314 115315 115316 115317 115318 115319 115320 115321 115322 115323 115324 115325 115326 115327 115328 115329 115330 115331 115332 115333 115334 115335 115336 115337 115338 115339 115340 115341 115342 115343 115344 115345 115346 115347 115348 115349 115350 115351 115352 115353 115354 115355 115356 115357 115358 115359 115360 115361 115362 115363 115364 115365 115366 115367 115368 115369 115370 115371 115372 115373 115374 115375 115376 115377 115378 115379 115380 115381 115382 115383 115384 115385 115386 115387 115388 115389 115390 115391 115392 115393 115394 115395 115396 115397 115398 115399 115400 115401 115402 115403 115404 115405 115406 115407 115408 115409 115410 115411 115412 115413 115414 115415 115416 115417 115418 115419 115420 115421 115422 115423 115424 115425 115426 115427 115428 115429 115430 115431 115432 115433 115434 115435 115436 115437 115438 115439 115440 115441 115442 115443 115444 115445 115446 115447 115448 115449 115450 115451 115452 115453 115454 115455 115456 115457 115458 115459 115460 115461 115462 115463 115464 115465 115466 115467 115468 115469 115470 115471 115472 115473 115474 115475 115476 115477 115478 115479 115480 115481 115482 115483 115484 115485 115486 115487 115488 115489 115490 115491 115492 115493 115494 115495 115496 115497 115498 115499 115500 115501 115502 115503 115504 115505 115506 115507 115508 115509 115510 115511 115512 115513 115514 115515 115516 115517 115518 115519 115520 115521 115522 115523 115524 115525 115526 115527 115528 115529 115530 115531 115532 115533 115534 115535 115536 115537 115538 115539 115540 115541 115542 115543 115544 115545 115546 115547 115548 115549 115550 115551 115552 115553 115554 115555 115556 115557 115558 115559 115560 115561 115562 115563 115564 115565 115566 115567 115568 115569 115570 115571 115572 115573 115574 115575 115576 115577 115578 115579 115580 115581 115582 115583 115584 115585 115586 115587 115588 115589 115590 115591 115592 115593 115594 115595 115596 11

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51

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52

**Adjacent  
Properties**  
AERIAL VIEW - 500 FT  
RADIUS

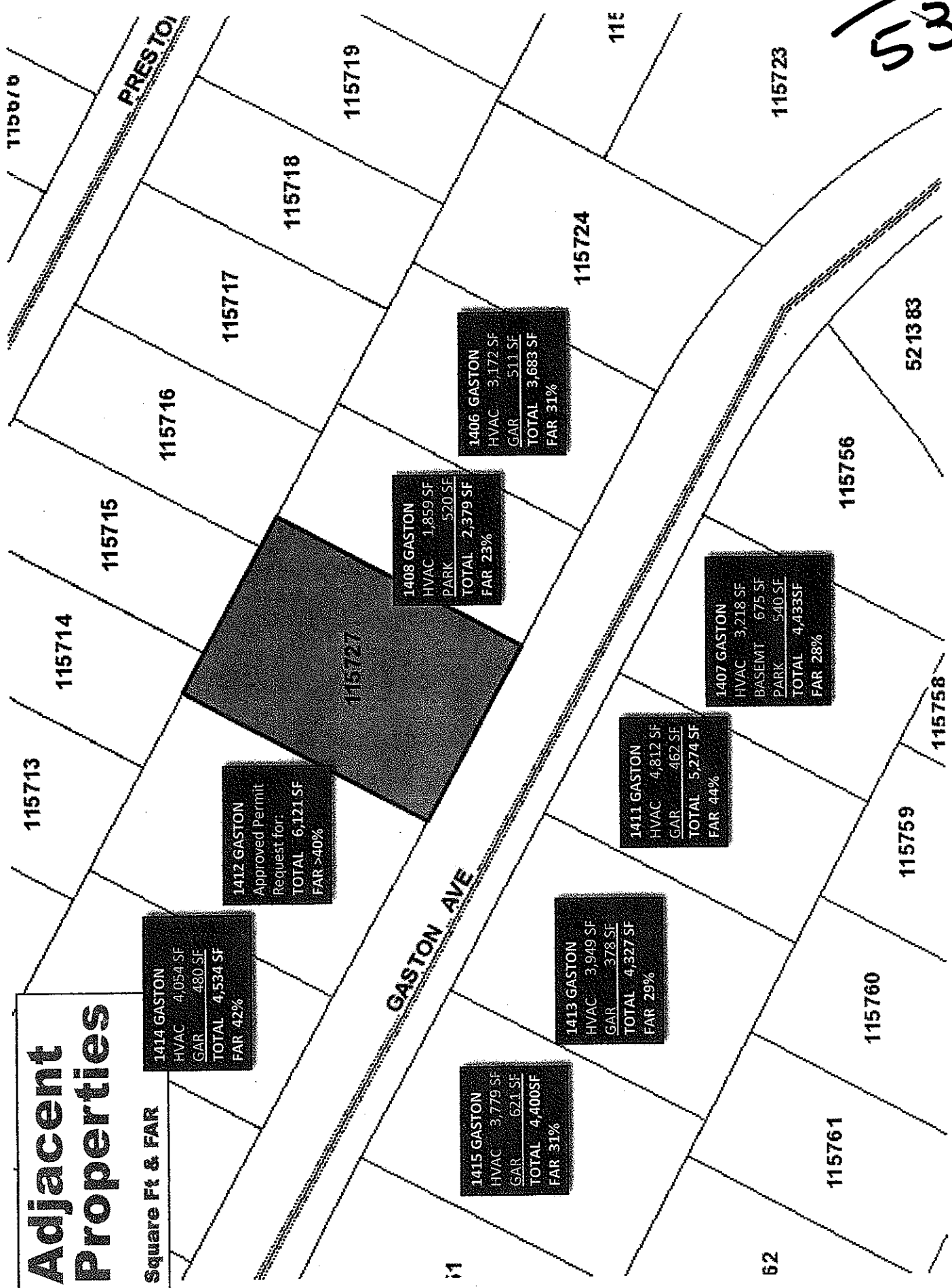




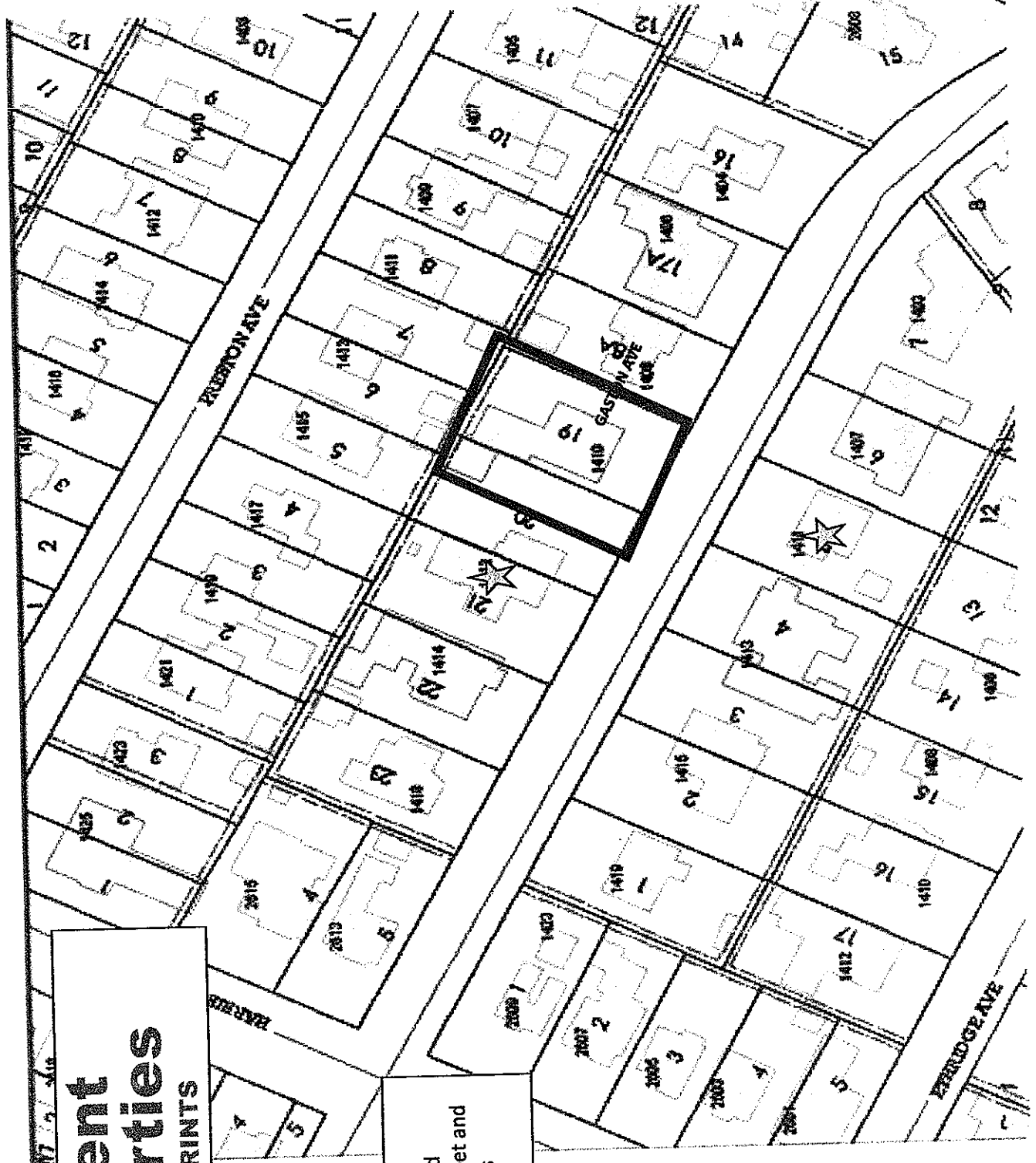
53/02

# Adjacent Properties

Square Ft & FAR



54  
C2



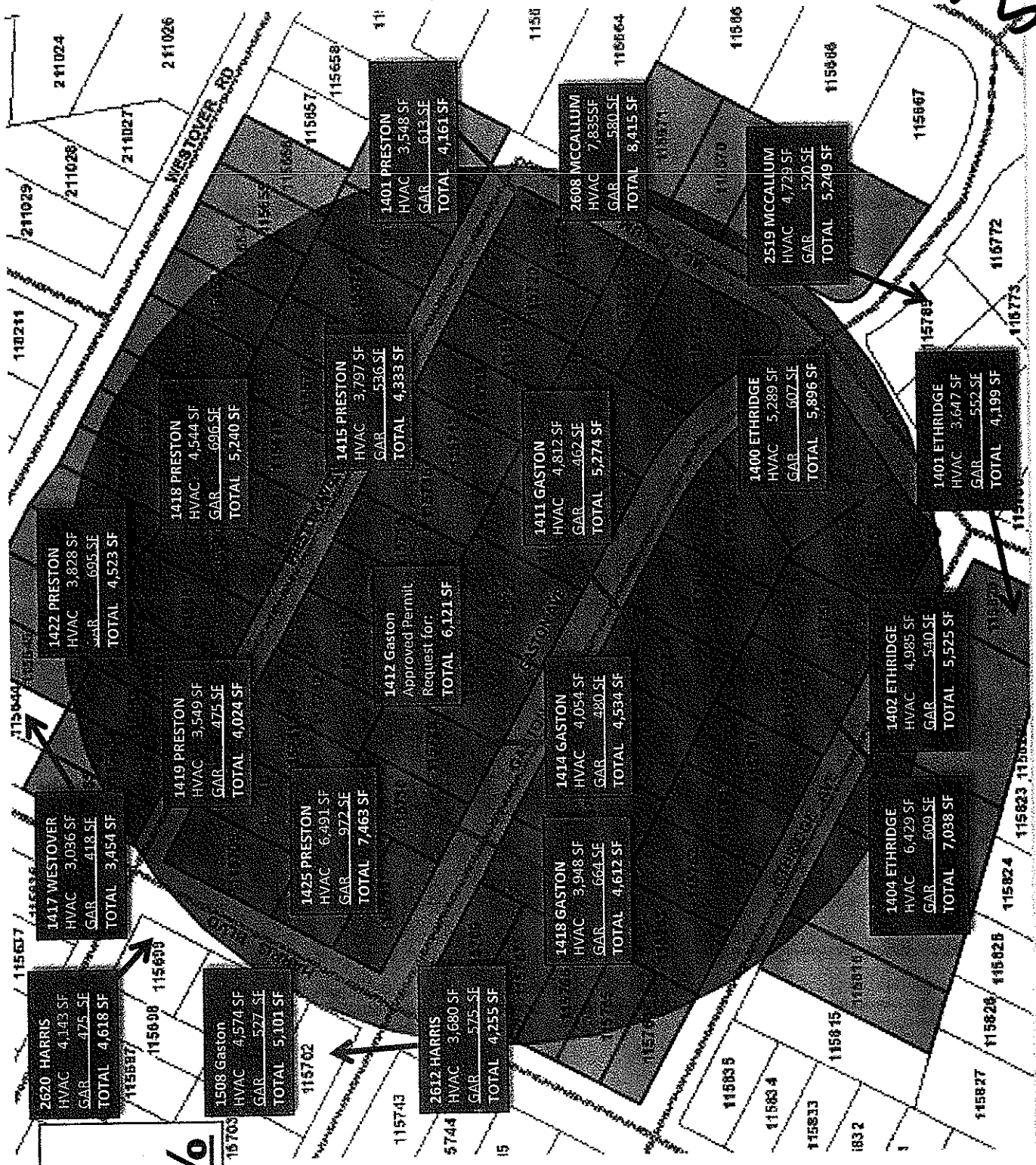
# Adjacent Properties

TCAD FOOTPRINTS

★ Home has been  
remodeled to add  
additional square feet and  
updated footprint is  
unavailable

# Houses With FAR>40%

5/5/02



# Homes in 500 FT Radius Exceeding 40% FAR

ID	Address	Lot Size	Sq Feet	Garage/ Carport	Total FAR Sq Ft	Parking Type	FAR	Parking Allowance
115709	1425 PRESTON AVE	10341	6491	972	7463	ATTACHED	70.23%	200
115759	1404 ETHRIDGE AVE	12021	6429	609	7038	ATTACHED-CP	56.88%	200
115683	1422 PRESTON AVE	7581	3828	695	4523	DETACHED	53.73%	450
115723	2608 McCallum DR	16713	7835	1097	8932	ATTACHED	52.25%	200
115681	1418 PRESTON AVE	9651	4544	696	5240	DETACHED <10	52.22%	200
115789	2519 McCallum DR	9718	4729	520	5249	DETACHED	49.38%	450
115656	1307 WESTOVER RD	8226	3726	546	4272	DETACHED	46.46%	450
115754	1411 GASTON AVE	11435	4812	462	5274	DETACHED <10	44.37%	200
115714	1415 PRESTON AVE	9117	3797	536	4333	DETACHED-CP	42.59%	450
115729	1414 GASTON AVE	10329	4054	480	4534	DETACHED <10	41.96%	200
115712	1419 PRESTON AVE	9117	3549	475	4024	DETACHED <10	41.94%	200
115721	1401 PRESTON AVE	9591	3548	613	4161	ATTACHED	41.30%	200
115820	1401 ETHRIDGE AVE	9705	3647	552	4199	DETACHED <10	41.21%	200
115757	1400 ETHRIDGE AVE	13943	5289	607	5896	ATTACHED	40.85%	200
115758	1402 ETHRIDGE AVE	13057	4985	540	5525	ATTACHED	40.78%	200
115730	1418 GASTON AVE	10306	3948	664	4612	DETACHED	40.38%	450

5/2/22

# Houses in 500ft Radius

Square Ft & FAR

	ID	Address	Lot Size	Total FAR Sq Ft	FAR
1	115709	1425 PRESTON AVE	10341	7463	70.23%
2	115759	1404 ETHRIDGE AVE	12021	7038	56.88%
3	115683	1422 PRESTON AVE	7581	4523	53.73%
4	115723	2608 McCallum DR	16713	8932	52.25%
5	115681	1418 PRESTON AVE	9651	5240	52.22%
6	115789	2519 McCallum DR	9718	5249	49.38%
7	115656	1307 WESTOVER RD	8226	4272	46.46%
8	115754	1411 GASTON AVE	11435	5274	44.37%
9	115714	1415 PRESTON AVE	9117	4333	42.59%
10	115729	1414 GASTON AVE	10329	4534	41.96%
11	115712	1419 PRESTON AVE	9117	4024	41.94%
12	115721	1401 PRESTON AVE	9591	4161	41.30%
13	115820	1401 ETHRIDGE AVE	9705	4199	41.21%
14	115757	1400 ETHRIDGE AVE	13943	5896	40.85%
15	115758	1402 ETHRIDGE AVE	13057	5525	40.78%
16	115730	1418 GASTON AVE	10306	4612	40.38%
17	115762	1410 ETHRIDGE AVE	10889	4476	39.27%
18	115731	2613 HARRIS BLVD	8521	3463	38.29%
19	115674	1404 PRESTON AVE	9704	3869	37.81%
20	115682	1420 PRESTON AVE	10329	3971	36.51%
21	115673	1402 PRESTON AVE	9157	3464	35.64%
22	115668	1304 GASTON AVE	16323	5832	34.50%
23	115732	2615 HARRIS BLVD	11137	4029	34.38%
24	115751	1419 GASTON AVE	12402	4393	33.81%
25	115669	2605 McCallum DR	10229	3621	33.44%
26	115722	2610 McCallum DR	8363	3238	33.34%
27	115764	2601 HARRIS BLVD	7449	2482	33.32%

5/2

28	115727	1410 GASTON AVE	13843	4750	32.87%
29	115766	2605 HARRIS BLVD	7185	2481	31.75%
30	115728	1412 GASTON AVE	13803	4538	31.43%
31	115725	1406 GASTON AVE	11124	3683	31.31%
32	115670	2607 McCallum DR	10231	3592	30.71%
33	115724	1404 GASTON AVE	13082	4204	30.61%
34	115815	1415 ETHRIDGE AVE	14705	4695	30.57%
35	115717	1409 PRESTON AVE	9782	3188	30.55%
36	115752	1415 GASTON AVE	13757	4400	30.53%
37	115763	1412 ETHRIDGE AVE	10822	3488	30.38%
38	115756	1403 GASTON AVE	11892	3762	29.95%
39	115769	2609 HARRIS BLVD	7840	2508	29.44%
40	115678	1412 PRESTON AVE	10366	3222	29.15%
41	115753	1413 GASTON AVE	14478	4327	28.51%
42	521383	1401 GASTON AVE	21840	6402	28.40%
43	115671	2609 McCallum DR	12818	4075	28.28%
44	115755	1407 GASTON AVE	12791	3758	27.82%
45	115765	2603 HARRIS BLVD	7893	2381	27.63%
46	115679	1414 PRESTON AVE	8975	2639	27.18%
47	115651	1401 WESTOVER RD	6869	2044	26.85%
48	115818	1407 ETHRIDGE AVE	16917	4733	26.80%
49	115648	1407 WESTOVER RD	9070	2596	26.42%
50	115767	2607 HARRIS BLVD	8942	2559	26.38%
51	115672	1400 PRESTON AVE	10146	2871	26.33%
52	115675	1406 PRESTON AVE	10250	2682	26.17%
53	115720	1403 PRESTON AVE	8727	2272	26.03%
54	115680	1416 PRESTON AVE	9657	2677	25.65%

58/52

59  
C2

55	115684	1424 PRESTON AVE	7565	2136	25.59%
56	115650	1403 WESTOVER RD	6737	1924	25.59%
57	115761	1408 ETHRIDGE AVE	9571	2439	25.48%
58	115719	1405 PRESTON AVE	9056	2294	25.33%
59	115718	1407 PRESTON AVE	8371	2306	25.16%
60	115816	1413 ETHRIDGE AVE	14817	3926	25.15%
61	115649	1405 WESTOVER RD	6795	2144	24.93%
62	115711	1421 PRESTON AVE	8423	2240	24.22%
63	115677	1410 PRESTON AVE	9266	2371	23.43%
64	115676	1408 PRESTON AVE	7612	1976	23.33%
65	115646	1411 WESTOVER RD	7976	2054	23.24%
66	115817	1411 ETHRIDGE AVE	22359	5392	23.22%
67	115654	1313 WESTOVER RD	8241	2095	22.99%
68	115726	1408 GASTON AVE	9018	2239	22.61%
69	115710	1423 PRESTON AVE	10471	2478	21.76%
70	115647	1409 WESTOVER RD	8110	1952	21.60%
71	115652	1317 WESTOVER RD	9619	1939	20.16%
72	115685	1426 PRESTON AVE	6935	1501	18.76%
73	115653	1315 WESTOVER RD	8241	1736	18.64%
74	115819	1405 ETHRIDGE AVE	23178	4398	18.11%
75	115655	1311 WESTOVER RD	6864	1408	17.60%
76	115713	1417 PRESTON AVE	10530	2052	17.59%
77	115716	1411 PRESTON AVE	9096	1932	16.29%
78	115715	1413 PRESTON AVE	8406	1780	15.82%
79	115645	1415 WESTOVER RD	8124	1480	15.76%
80	115760	1406 ETHRIDGE AVE	10586	owned by church-not in tax records	

propaccess.traviscad.org/clientdb/Property.aspx?prop\_id=115727

Travis CAD - Property Details

Property

Account 115727 Legal Description: LOT 19 & E 30 FT OF LOT 20 BLK 27 PEMBERTON HEIGHTS SEC 8

Property ID: 0118000519

Geographic ID: Real

Type: Real

Property Use Code:

Property Use Description:

Location

Address: 1410 GASTON AVE Mapsec: 584D

Neighborhood: TX 78703

Neighborhood CD: Z32000 Map ID: 011008

Owner

Name: NELSON JOHN P & HEATHER B Owner ID: 1582145

Mailing Address: 2410 JARRATT AVE % Ownership: 100.000000000000%

AUSTIN, TX 78703

Exemptions:

Values

Taxing Jurisdiction

Improvement / Building

Improvement #: 1 FAM DWELLING State Code: A1 Living Area: 3658.0 sqft Value: \$500,576

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
1ST	1st Floor	WW - 5		1941	2364.0
2ND	2nd Floor	WW - 5		1941	1294.0
011	PORCH OPEN 1ST F	* - 5		1941	312.0
061	CARPORT ATT 1ST	* - 5		1941	752.0
095	HVAC RESIDENTIAL	* - *		1941	3658.0
251	BATHROOM	* - *		1941	2.0
522	FIREPLACE	* - 5		1941	1.0
581	STORAGE ATT	WW - 3-		1941	152.0
612	TERRACE UNCOVERD	* - 5		1941	260.0
012	PORCH OPEN 2ND F	* - 5		1941	390.0
630	PORCH CLOS FIN	* - 5		1941	312.0
250	HALF BATHROOM	* - *		1941	1.0
252	BEDROOMS	* - *		1941	4.0

Land


#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	LAND	Land	0.3178	13842.75	0.00	0.00	\$510,000	\$0

C2  
60



C2  
61

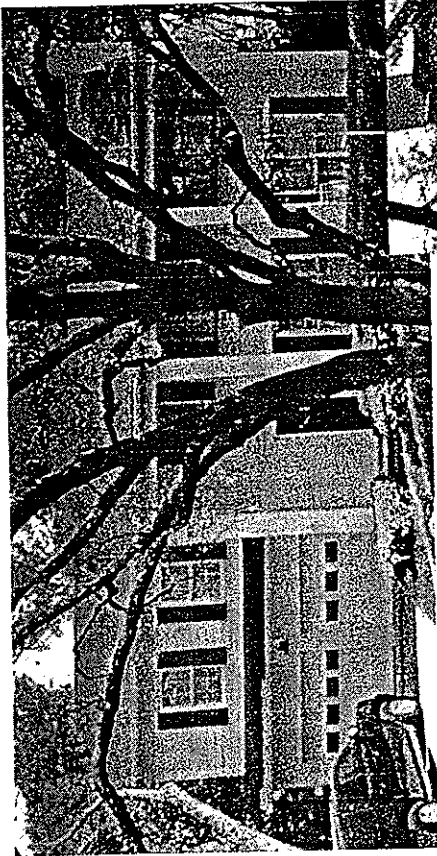


<p><b>11600</b></p>	<p>Revision Date: 3/20/2013</p>	<p>0 120 Feet</p>	<p>NAD 1983, StatePlane, Texas_Central_FIPS_4203_Foot Projection: Lambert_Conformal_Conic</p> <p> N</p>	<p>This map was compiled solely for the use of TCAD. Areas outlined by these digital products are approximate and are not intended to be used for engineering, planning or engineering purposes. The TCAD makes no warranty, representation or guarantee about the accuracy, completeness, timeliness or quality of the information. The map data does not constitute a legal document.</p>	<p><b>Travis Central Appraisal District</b>          6314 Cross Park Drive          Austin, Texas 78754          Internet Address: <a href="http://www.traviscad.org">www.traviscad.org</a>          Main Telephone Number: (512) 626-6217          Appraisal Information: (512) 626-6218          TDD: (512) 626-3328</p>
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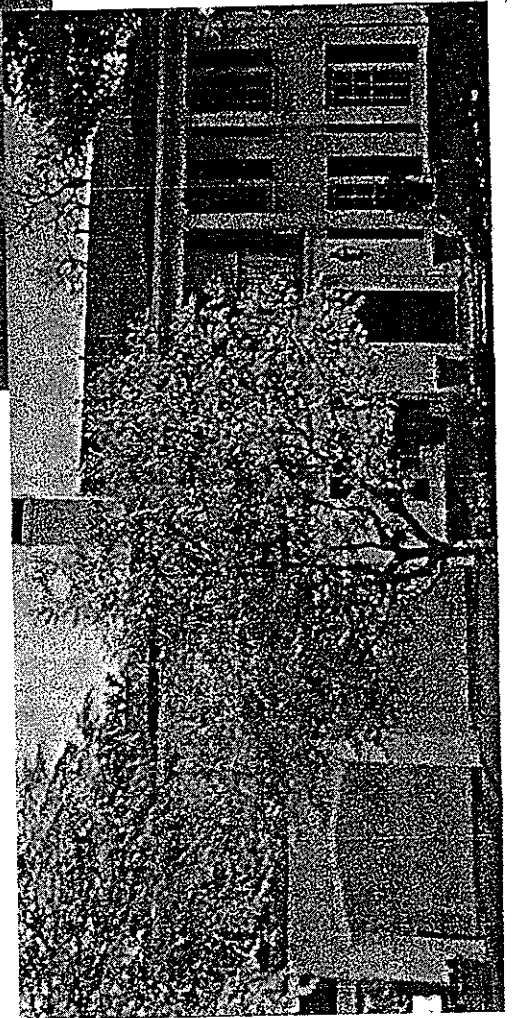
$$\frac{C^2}{62}$$

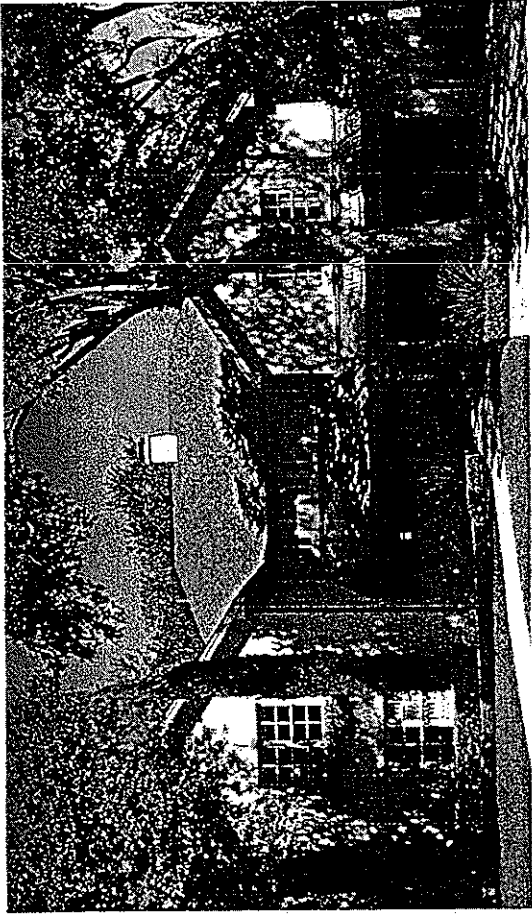
✓ I am in favor

C2/63

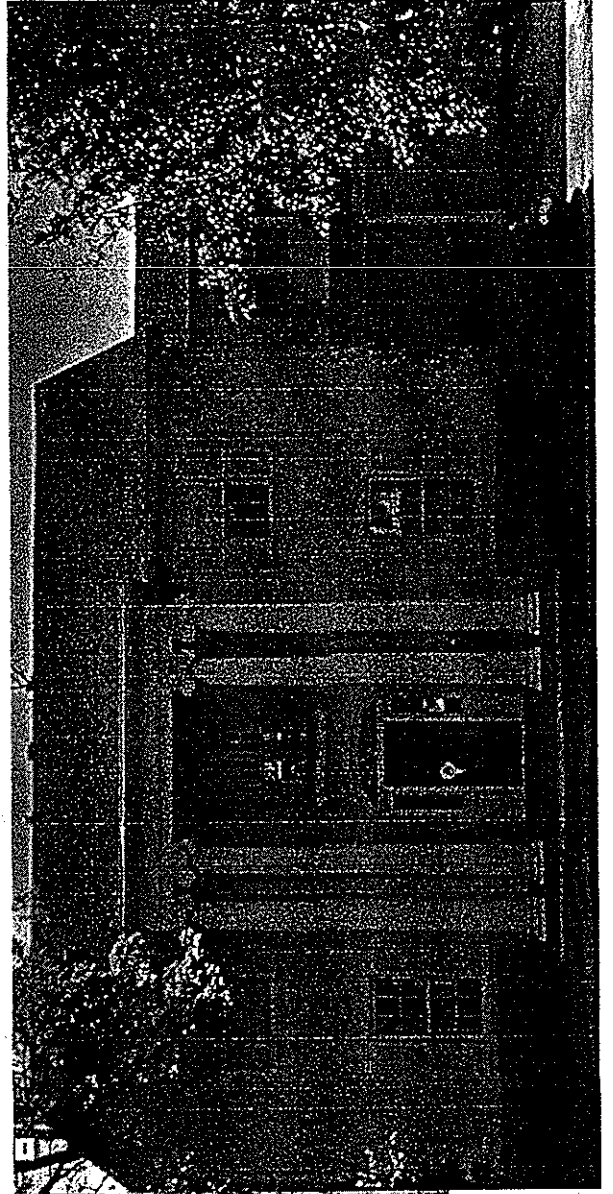
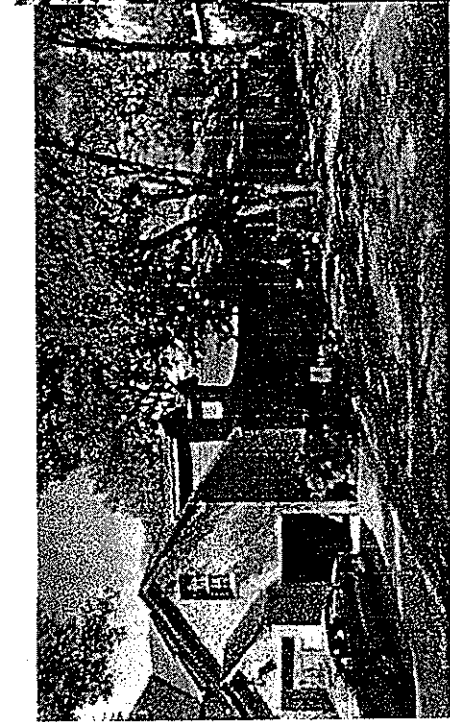


Houses in  
Immediate Area  
With Adjacent  
Garages





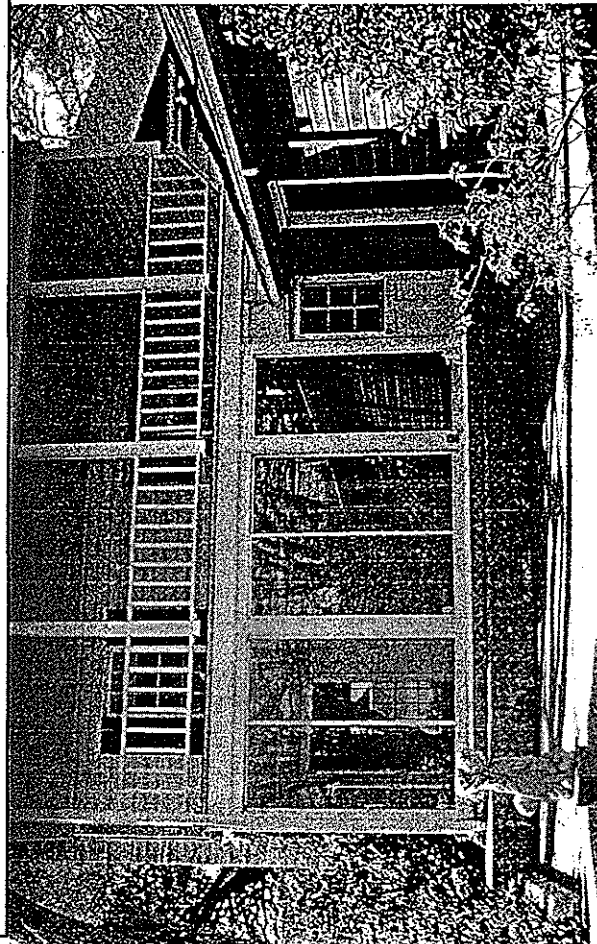
**Houses in  
Immediate Area With  
Adjacent Garages (page 2)**



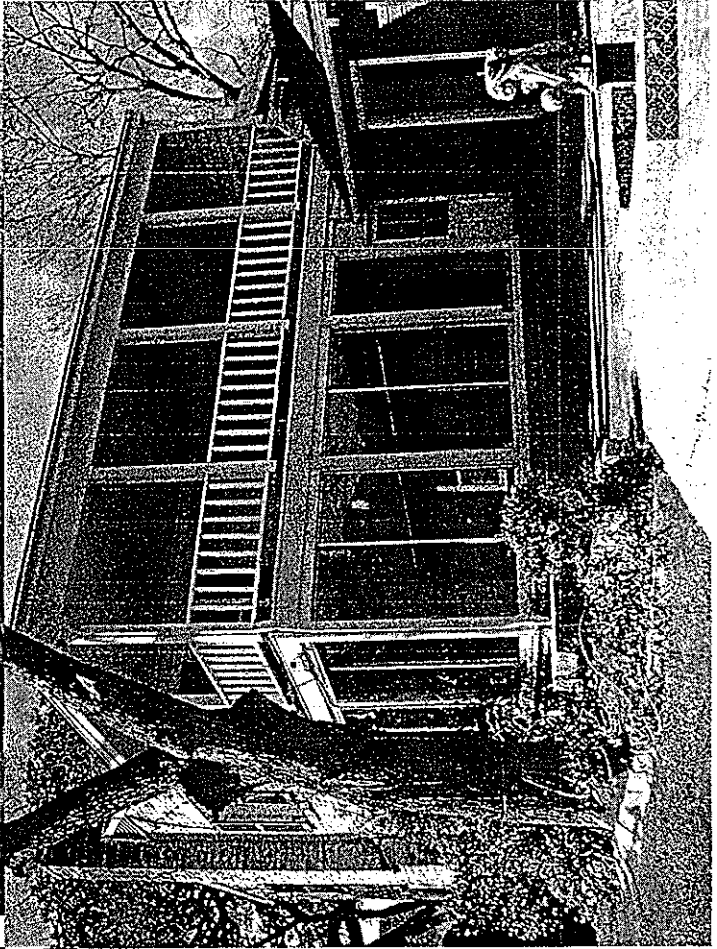
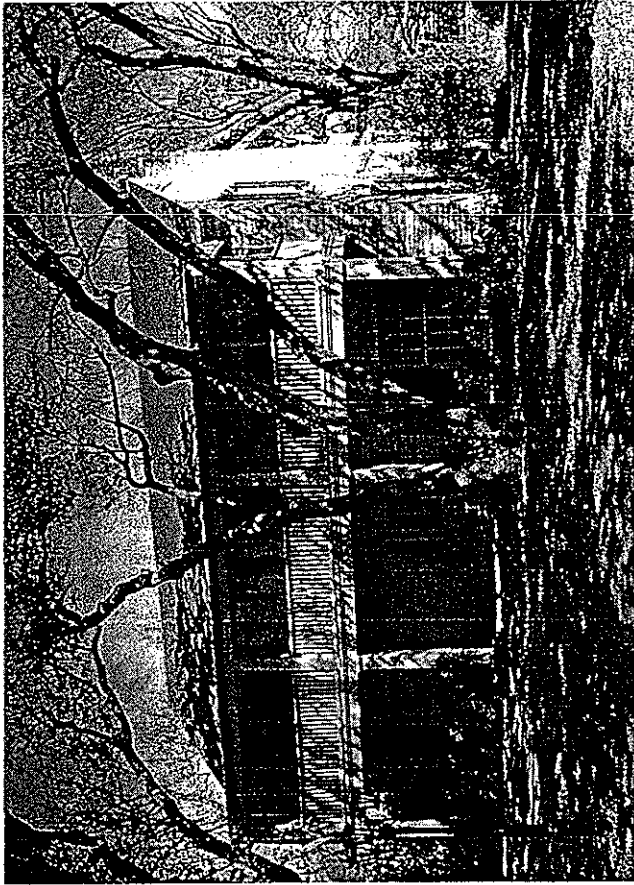
64



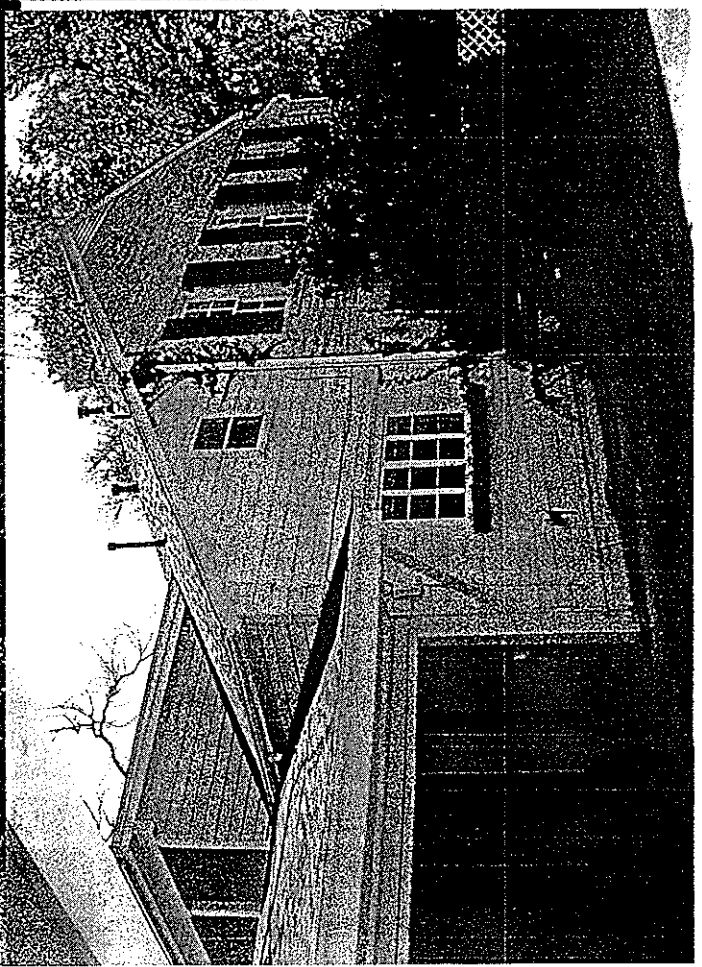
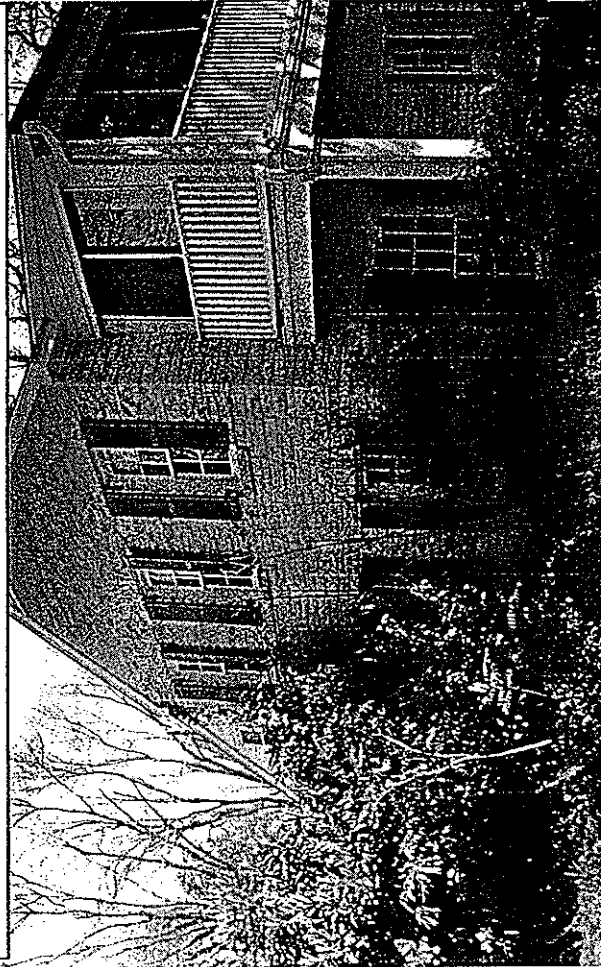
# More Existing House Photos



C2/66



More Existing House Photos



C2  
67

Case Number: 13-060938-PR  
Address: 1410 Gaston Avenue (Nelson residence)  
Contact: Sylvia Benavidez, (512) 974-2522  
Public Hearing Date: July 3, 2013  
Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Heather Chesney  
Your Name (please print)

1610 Gaston Avenue  
Your Address(es) affected by this application

Heather Chesney 6/11/13  
Signature Date

Comments:

Bobby and I approve of the  
Nelson's proposed plans and  
are in favor of their desire to  
improve and remodel the existing  
home at 1410 Gaston. What a  
wonderful improvement to the  
Street!

C2  
68

Case Number: 13-060 938 PR

Address: 1410 Gaston Avenue (Nelson residence)

Contact: Sylvia Benavidez, (512) 974-2522

Public Hearing Date: July 3, 2013

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Lesley Childress  
Your Name (please print)

2613 Harris Blvd, 78703  
Your Address(es) affected by this application

[Signature] 6/12/13  
Signature Date

Comments:

We fully support all proposed  
modifications to 1410 Gaston. We  
look forward to seeing the much  
improved structure.  
Lesley Childress



C2  
69

**Case Number:** 13-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:**

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Kristen & John Nelson  
Your Name (please print)

1422 Preston Ave.  
Your Address(es) affected by this application

Kristen Nelson 6.10.13  
Signature Date

**Comments:**

We have seen the Nelsons' (no relation)  
plans and believe they are an  
improvement to the property and  
are<sup>in</sup> keeping with the look and  
feel of our neighborhood.

C2  
10

**Case Number:** 13-060938-PR

**Address:** 1410 Gaston Avenue (Nelson residence)

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**



I am in favor



I object

Chip Rives

Your Name (please print)

1400 Preston Ave.

Your Address(es) affected by this application

Chip Rives

Signature

6/11/13

Date

Comments:

My wife and I support the Nelson's desire to increase their FAR. We are glad that they are working with the existing structure and can understand the need for more space for their family. Thank you.

C2  
11

**Case Number:** 13-060938-PR  
**Address:** 1410 Gaston Avenue (Nelson residence)  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Laurel Simmons  
Your Name (please print)

2412 Jarratt Ave.  
Your Address(es) affected by this application

Laurel Simmons 6/12/13  
Signature Date

Comments:

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C2  
12

Case Number: 13-060938 PR  
Address: 1410 Gaston Avenue (Nelson residence)  
Contact: Sylvia Benavidez, (512) 974-2522  
Public Hearing Date: July 3, 2013  
Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Robert Peeler  
Your Name (please print)

1501 Gaston Ave, 78703  
Your Address(es) affected by this application

[Signature] 6/11/13  
Signature Date

Comments:

We support the redo ? feel it will  
preserve the historic integrity of our  
neighborhood. We look forward to seeing  
the finished product as it will be a  
great addition to our street.

C2/13

Case Number: 13-060938-PR

Address: 1410 Gaston Avenue (Nelson residence)

Contact: Sylvia Benavidez, (512) 974-2522

Public Hearing Date: July 3, 2013

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Carol and Jon Gormin

Your Name (please print)

1508 Gaston Avenue

Your Address(es) affected by this application

Carol Gormin

Signature

6/11/13

Date

Comments:

We fully support the Nelsons remodel and addition at 1410 Gaston. We appreciate their efforts to preserve the integrity of the character of the house and believe the home will fit beautifully in our neighborhood.

C2  
14

**Case Number:** 13060938-PR  
**Address:** 1410 Gaston Avenue (Nelson residence)  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Patrick & Kathy Terry  
Your Name (please print)

2601 Jarratt Ave, 78703  
Your Address(es) affected by this application

Kathy Terry 6/11/13  
Signature Date

Comments:

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C2  
15

Case Number: 13-060 938 PR  
Address: 1410 Gaston Avenue (Nelson residence)  
Contact: Sylvia Benavidez, (512) 974-2522  
Public Hearing Date: July 3, 2013  
Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Robert Northway  
Your Name (please print)

1419 Gaston Ave  
Your Address(es) affected by this application

RVN 6-11-13  
Signature Date

Comments:

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C2  
16

**Case Number:** 13-060938-82  
**Address:** 1410 Gaston Avenue (Nelson residence)  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Lindsay & Kevin Hunter  
Your Name (please print)

1408 Ethridge Ave  
Your Address(es) affected by this application

Lindsay Hunter 6/10/13  
Signature Date

Comments:

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C2  
17

**Case Number:** 13-060938-RR  
**Address:** 1410 Gaston Avenue (Nelson residence)  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Heather Nelson  
Your Name (please print)

1410 Gaston + 2410 Jarratt  
Your Address(es) affected by this application

Heather Nelson      6/11/13  
Signature      Date

Comments:

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C2  
78

Case Number: 2013-060938-PR

Address: 1410 Gaston Avenue

Contact: Sylvia Benavidez, (512) 974-2522

Public Hearing Date: July 3, 2013

Residential Design and Compatibility Commission



I am in favor



I object

RICHARD CRAIG

Your Name (please print)

1419 PRESTON AVE. 78703

Your Address(es) affected by this application

Richard Craig

Signature

Date

Comments:

I hate to lose the great porches on  
Dr. Mac's old house. But, it does need  
updating badly. Good luck with  
the project. It is a great home.

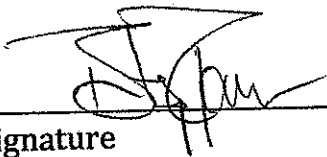
C2  
79

**Case Number:** 2013-060938-PR  
**Address:** 1410 Gaston Avenue  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

\_\_\_\_\_  
Elizabeth Farmer  
Your Name (*please print*)

\_\_\_\_\_  
2421 Jarratt Ave  
Your Address(es) affected by this application

\_\_\_\_\_  
  
Signature

\_\_\_\_\_  
6/15/2013  
Date

**Comments:**

\_\_\_\_\_  
I think the changes to 1410 Gaston Avenue will enhance the  
neighborhood and welcome the improvements.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

C2  
80

**Case Number:** 2013-060938-PR  
**Address:** 1410 Gaston Avenue (Nelson residence)  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Michael Wardlaw

Your Name (please print)

1411 Preston

Your Address(es) affected by this application

Michael Wardlaw

Signature

6-12-13

Date

Comments:

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C3/81

**Case Number:** 2013-060938-PR  
**Address:** 1410 Gaston Avenue  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Fern Santini  
Your Name (*please print*)

1412 Ethridge Ave, Austin 78703  
Your Address(es) affected by this application

Fern Santini 6-19-13  
Signature Date

Comments:

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132/82

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Mrs. Charles Nash  
Your Name (please print)

1407 Gaston Avenue  
Your Address(es) affected by this application

Mrs. Charles Nash      6-17-13  
Signature      Date

Comments:

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C2  
83

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Paige Alam  
Your Name (please print)

1401 Gaston Avenue, Austin, TX 78703  
Your Address(es) affected by this application

Paige M. Alam      6/18/13  
Signature      Date

Comments:

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C2  
84

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Mark & Leslie Winter  
Your Name (please print)

1403 Gaston Austin TX 78703  
Your Address(es) affected by this application

[Signature] 6-18-13  
Signature Date

Comments:

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C2  
85

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

John & Linda Eford  
Your Name (please print)

1406 Ethridge  
Your Address(es) affected by this application

Linda Eford 6-17-13  
Signature Date

Comments:

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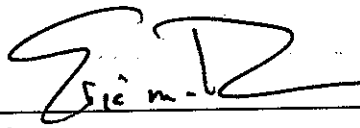
C2  
86

**Case Number:** 2013-060938-PR  
**Address:** 1410 Gaston Avenue  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Eric Price  
Your Name (please print)

2422 Jarratt Ave, Austin, TX 78703  
Your Address(es) affected by this application

 6/18/13  
Signature Date

Comments:

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C2  
87

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

KRISTEN J. HOLLAND  
JAMES H. HOLLAND

Your Name (please print)

1413 PRESTON AVE

Your Address(es) affected by this application

Kristen J. Holland  
Signature

6/21/13  
Date

Comments:

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C2  
88

**Case Number:**

**Address:** 1410 Gaston Avenue (Nelson residence)

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Michael Wardlaw

Your Name (please print)

1411 Preston

Your Address(es) affected by this application

Michael Wardlaw

6-12-13

Signature

Date

Comments:

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C2  
89

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

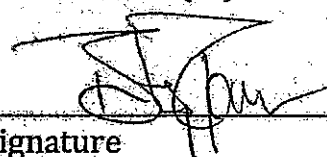
<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Elizabeth Farmer

Your Name (please print)

2421 Jarratt Ave

Your Address(es) affected by this application



Signature

6/15/2013

Date

**Comments:**

I think the changes to 1410 Gaston Avenue will enhance the  
neighborhood and welcome the improvements.

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E2  
90

**Case Number:** 2013-060938-PR  
**Address:** 1410 Gaston Avenue  
**Contact:** Sylvia Benavidez, (512) 974-2522  
**Public Hearing Date:** July 3, 2013  
**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Dr + Mrs Wm J. Harden  
Your Name (please print)

1406 GASTON AVE  
Your Address(es) affected by this application

Wm J. Harden 6-22-13  
Signature Date

Comments:

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C2  
91

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2013-060938RA

ADDRESS: 1410 Gaston Avenue

Contact: Sylvia Benavidez, 974-2522

Public Hearing: July 3, 2013

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

Lisa Bordelon  
Your Name (please print)

1405 Ethridge  
Your address (es) affected by this application

Lisa Bordelon      6/22/13  
Signature                                  Date

Comments: We are in favor of the  
proposed modification. The  
existing structure at 1410  
Gaston is in disrepair and  
in need of a quality re-model.  
We have received 4 notices  
regarding the re-model. we strongly  
suggest the City reduce the  
number of mailings. Thanks.

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

C2  
92

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

Martha and Don DeBrosse  
Your Name (please print)

1415 Gaston Ave.  
Your Address(es) affected by this application

Martha DeBrosse      6/22/13  
Signature      Date

Comments:

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C2  
93

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

GREGORY CLAY

Your Name (please print)

1400 ETHRIDGE AVE

Your Address(es) affected by this application

[Signature]

Signature

6-21-13

Date

Comments:

This renovation is compatible with

the street + neighborhood. I am

in favor of its approval.

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C2  
94

**Case Number:** 2013-060938-PR

**Address:** 1410 Gaston Avenue

**Contact:** Sylvia Benavidez, (512) 974-2522

**Public Hearing Date:** July 3, 2013

**Residential Design and Compatibility Commission**

<input checked="checked" type="checkbox"/>	I am in favor
<input type="checkbox"/>	I object

David Near

Your Name (please print)

2608 McCallum Dr. Austin TX 78703

Your Address(es) affected by this application

[Signature]

Signature

6-20-13

Date

Comments:

I absolutely support Heather and  
Jack with their plans to remodel  
their house at 1410 Gaston. They are  
both terrific people and I believe  
have a plan that will produce a  
wonderful home that is completely  
consistent with the neighborhood.  
I am very excited for them and  
I know the community will also  
enjoy the new look! Thank you!

Benavidez, Sylvia

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C2/95

**From:** Heather Nelson <heathernelson5@gmail.com>  
**Sent:** Sunday, June 16, 2013 10:48 AM  
**To:** Benavidez, Sylvia  
**Subject:** Fwd: PHNA re: 1410 Gaston

Sylvia,  
Are you able to add this email from our neighborhood association to your support for 1410 gaston?  
Thanks  
Heather Nelson

Sent from my iPhone

Begin forwarded message:

**From:** Carla Hatler <carlah@gmail.com>  
**Date:** June 16, 2013, 9:48:12 AM CDT  
**To:** HEATHER NELSON <heathernelson5@gmail.com>  
**Cc:** "Craig A. Duewall" <CDuewall@shannongracey.com>, Corey Breed <corey@ventcapsystems.com>, Betty Trent <betty@austinarchplus.com>, Sasha Edwards <saevan@gmail.com>  
**Subject:** PHNA re: 1410 Gaston

Dear Heather,  
Thank you for your note regarding your renovation at 1410 Gaston. The PHNA does not officially comment on renovations at this time.

Sounds like you have some great support from your immediate neighbors. We wish you the best of luck in your remodel and hope you are able to achieve the permits you are seeking.

Best,  
Carla Hatler

Vice President  
Pemberton Heights Neighborhood Association

Benavidez, Sylvia

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C2/96

**From:** HEATHER NELSON <heathernelson5@gmail.com>  
**Sent:** Sunday, June 23, 2013 11:54 PM  
**To:** Benavidez, Sylvia  
**Subject:** 1410 gaston

Please use this email as support from Betty Trent instead of my last one that had the PHNA discussion below it.  
thanks  
heather nelson

On Jun 17, 2013, at 10:32 AM, "Betty Trent" <[betty@austinarchplus.com](mailto:betty@austinarchplus.com)> wrote:

Heather,  
Please add my name to those who have no opposition to your project.

Betty J Trent, AIA LEED AP  
ARCHITECTURE PLUS  
1907 N. Lamar Blvd # 260  
Austin Texas 78705  
V (512)478-0970  
F (512) 478-0920  
[betty@austinarchplus.com](mailto:betty@austinarchplus.com)  
<image002.jpg>

C2/  
97

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2013-060938RA

ADDRESS: 1410 Gaston Avenue

Contact: Sylvia Benavidez, 974-2522

Public Hearing: July 3, 2013

Residential Design and Compatibility Commission

<input type="checkbox"/> I am in favor
<input checked="" type="checkbox"/> I object

*Robert Northway*

Your Name (please print)

*1419 Gaston Avenue*

Your address (es) affected by this application

*[Signature]*

Signature

*6-22-13*

Date

Comments:

*I favor the design  
+ compatibility standards of  
40% allowable.*

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

C2  
98

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2013-060938RA

ADDRESS: 1410 Gaston Avenue

Contact: Sylvia Benavidez, 974-2522

Public Hearing: July 3, 2013

Residential Design and Compatibility Commission

<input type="checkbox"/> I am in favor
<input checked="" type="checkbox"/> I object

Candace & John Volz

Your Name (please print)

1406 Preston Ave. 78703

Your address (es) affected by this application

Candace M. Volz

Signature

6.24.13

Date

Comments: Our neighbor assoc. has typically  
viewed receiving a F.A.R. increase as an un-  
fair financial advantage for a property owner.  
We agree with this viewpoint.

The new owners of 1410 Gaston have asked for  
a variance from the new garage regulations;  
permission from the Landmark Commission  
to alter the facade of their "contributing" house  
in our Nat'l. Reg. District so that it will  
no longer be contributing; and now they

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City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

are asking  
for a variance to increase  
the amount of construction on  
their lot. They have apparently  
purchased a home which is too small for their needs,  
has inadequate garage facilities, and they  
find unattractive. Rather than having to  
receive variances from at least 3 different  
city commissions, it seems like they bought  
the wrong house-